

VILLAGE OF SKANEATELES
 26 Fennell St.
 Skaneateles, NY 13152
 315-685-2118

APPLICATION FOR BUILDING PERMIT

For Office Use Only
 Fee:
 Check #:
 Date paid:
 Permit #:

PROJECT ADDRESS 185 Orchard Road TAX MAP ID# 003.-07-04
 PROPERTY OWNER Tom & Malley Hill PHONE # 315-730-1745
 EMAIL ADDRESS Mellott@HaworthKennebec.com

SQUARE FOOTAGE OF NEW WORK 606 SF

DESCRIPTION OF WORK TO BE DONE (include more detail as an attachment if necessary)
REMOVE EXIST DECK, COXESTRUCT 15'x20' ADDITION 10'x20' FOR
GILBERT ROOM & PORCH w/ FIRE PLACE, ADD DOWN STAIRS
10'x18' ADDITION FOR CLOSET, ADD DOWN ON BACK OF
GARAGE. INTERIOR ACROSS PORCH

ACCURATE PROJECT COST _____

SQUARE FOOTAGE OF PARCEL 24,101 SF

ZONING DISTRICT A-1 A-2 A-3 A-4 **B** C D PL

Setbacks - Existing Structure (Distances from structure to property or lot lines)
 Front Yard 21.2 ft.
 Left Side Yard 18.7 ft.
 Right Side Yard 62.3 ft.
 Rear Yard 52 ft.

Setbacks - Proposed work
 Front Yard 21.2 ft.
 Left Side Yard 18.7 ft.
 Right Side Yard 62.3 ft.
 Rear Yard 52 ft.

New connection for: (Yes/No) Sewer NO Electric Service NO Storm Sewer NO

CONTRACTOR / AGENT INFORMATION:

[] CONTRACTOR [] ARCHITECT [] OTHER [] CONTRACTOR [] ARCHITECT [] LLC MGR [] OTHER
 NAME Egypton & Kenner Arch. PC NAME _____
 PHONE # 315-1085-8144 PHONE # _____
 ADDRESS 1391 E. Geneva Street Ste 1115 ADDRESS _____
 EMAIL Bob@Egypton.com EMAIL _____

CHECKLIST ITEMS: [] PROPERTY SURVEY [] STAMPED ARCHITECTURAL PLANS [] ASBESTOS REPORT [] DRAINAGE + GRADING
 [] OTHER [] WORKMANS COMP AND LIABILITY INSURANCE [] JOB PROPOSAL

Detailed instructions available at Code Enforcement Office or www.villageofskaneateles.com

The Village requires that projects comply with the zoning law, and applicants and design professionals must prepare for their projects accordingly. Where practical difficulties or unnecessary hardships may result from enforcement of the strict letter of the code, applications for variances may be made to the Village Zoning Board of Appeals.

For Office Use Only

 MAR 13 2024

ACKNOWLEDGEMENTS:

- I AM THE OWNER APPLICANT AGENT OF OWNER AND AM AUTHORIZED TO MAKE THIS APPLICATION.
- I AUTHORIZE THE CODE ENFORCEMENT OFFICER TO ENTER THE PROPERTY TO MAKE INSPECTIONS AS PRESCRIBED UNDER LOCAL AND STATE LAWS.
- I WILL NOTIFY THE CODE ENFORCEMENT OFFICER IMMEDIATELY OF ANY CHANGES DURING THE COURSE OF THE WORK.
- I WILL NOTIFY THE CODE ENFORCEMENT OFFICER WHEN INSPECTIONS ARE DUE.
- FURTHERMORE, I AGREE THAT THE BUILDING OR PROJECT WILL NOT BE OCCUPIED OR USED UNTIL A CERTIFICATE OF COMPLIANCE/ CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.
- The applicant and/or agent declares that the information contained in this application, and the plans, specifications and other supporting materials submitted in support of this application is true and has made such representations to induce the Village of Skaneateles to issue a Building/Zoning Permit and the applicant will comply with all laws, codes and ordinances controlling this work.

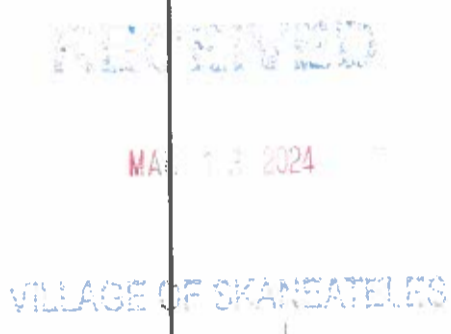
NAME of APPLICANT Molly Elliott PHONE # 315-730-1745 EMAIL Melliott@HowardHamme.com
 ADDRESS 185 Dickard Road Skaneateles, NY 13152
 SIGNED _____
 DATE MARCH 12, 2024

[Signature]

Affidavit of Applicant or Agent
 (To be completed if application is not made by the property owner)

STATE OF NEW YORK)
) SS:
 COUNTY OF ONONDAGA)
 On this ___ day of __, 20___, personally appeared before me:

NOTARY PUBLIC



For Code Enforcement Office Use Only

Date Received 3/12/24 Date Reviewed 3/25/24
 Application Status: Approved Denied

Reasons for denial – Does Not Comply With the Following:

- Section 225-A5, Density Control Schedule for:
- Front Yard Setback _____ Side Yard Setback, left _____ Side Yard Setback, Right _____
 - Rear Yard Setback _____ Percentage of Open Area _____ Both Side Yards Combined _____
 - Percentage of Structure width/lot width _____
 - Other Density Control Schedule _____
 - Section 225-69D, Non-conforming Buildings, Structures and Uses, Extension or Expansion
 - Section 225-14(d), Swimming Pools, 25 ft. distance to lot lines
 - Section 225-14C (5) (a/b), Accessory Buildings, distance to lot lines or structures _____
 - Section 225-A1-3, Permitted Use Chart _____
 - Other Sections of the Zoning Law _____

And/or Needs:

- _____ Certificate of Approval from the Historical Landmarks Preservation Commission, Section 225-25
- _____ Critical Impact Permit, per Section 225-52, form Board of Trustees
- _____ Special Use Permit from the Zoning Board of Appeals

SIGNATURE:

[Signature]

Staff and boards review, as applicable:
 Planning Board Review _____ Zoning Board of Appeals Approval _____
 Critical Impact Permit Approval N/A Historical Commission Approval N/A

ZONING BOARD OF APPEALS

Village of Skaneateles
26 Fennell Street
Skaneateles, NY 13152

315-685-2118

Fax 315-685-0730

CH# 690
PA 3/12/2024

SITE PLAN REVIEW
#226

\$100.00A

CH# 692

\$150.00 ZBA

3/11/24

..... (1) NOTICE OF APPEAL (2) APPLICATION FOR SPECIAL USE PERMIT

Date of Application March 13, 2024

To the Zoning Board of Appeals of the Village of Skaneateles, Onondaga County, New York

I/We Tom & Molly Elliott

Printed or Typed Name of Applicant(s) and/or Applicant(s)

Address 185 Orchard Rd Skan, NY 13152

(1) I hereby appeal the decision of the Village Code Enforcement Officer (Building Inspector)

which was denial of a Zoning Permit

_____ which was denial of a Certificate of Occupancy

to vary the strict application of the provisions of:

Article XIV Section 225 Subsection 692D

Article _____ Section 225 Subsection A5

Article _____ Section 225 Subsection _____

(2) I hereby apply for: (check all applicable)

_____ A SPECIAL USE PERMIT required by the provisions of Article III, Section 225-10

B (1) & Section 225-11 B (2)

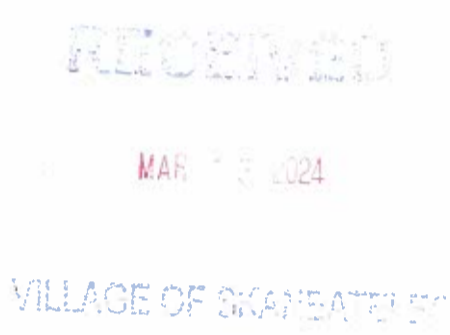
_____ A FLOODWAY PERMIT required by the provisions of Article III, Section 225-10

B (3) & Article VI, Section 225-18 B

This appeal or application relates to:

185 Street Number Orchard Rd Street Name

Tax Map Number 003-07-04



ZONING BOARD OF APPEALS
Village of Skaneateles

26 Fennell Street
Skaneateles, NY 13152

Fax 315-685-0730

315-685-2118

The applicant shall use the worksheet on the following page (page 3A) to state the Zoning Board of Appeals details of the variances requested. Instructions for the completion of page 3A are as follows:

- Indicate the Zoning District of the lot at the top of page 3A.
- Using the Density Control Schedule (Section 225-A5) fill in the minimum area requirements for your Zoning District, in the column labeled "Required" on page 3A.
- In the column labeled "Existing" on page 3A, indicate the existing set-back dimensions and percentages. Use box next to "Applicant" (the gray area will be completed by the Codes office).
- In the column labeled "Proposed", indicate the dimensions, area (in square feet) and percentages that will result from your proposed construction. Use box next to "Applicant" (the gray area will be completed by the Codes office).
- In the column labeled "Pre-existing non-conforming, indicate the pre-existing variance from code. Use box next to "Applicant" (the gray area will be completed by the Codes office).
- In the column labeled variance, indicate the variance requested. Use box next to "Applicant" (the gray area will be completed by the Codes office).

MAILED
MAY 13 2024

VILLAGE OF SKANEATELES

List below any OTHER variances, Special Permits requested
(Section of the Zoning Law) (Description)

225.69D EXPOSURE OF NC STRUCTURE - % OPEN AREA

Please state below all reasons to support your appeal or application. Attach other sheets as needed to support your appeal/application

ADDITION OF BRICK TRIM/POOR IS OVER EXIST DECK & 2ND FLOOR COCKET & DOWNER IS OVER EXIST HOUSE. NO CHANGE IN EXISTING NON-CONFORMITY. NOTE: CRACKS IN DECK BUILDING OVER AREA HAS CONTRIBUTED TO NON-CONFORMITY.

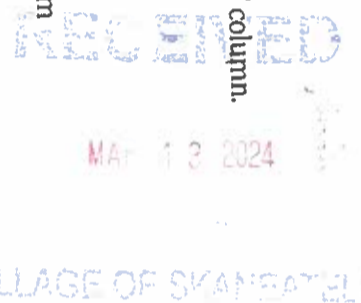
Dated 13 MAY 2024

Signature of Applicant/Appellants

Property Address 125 ORCA AWD DR.

Zoning District: B Tax Map # 003-07-06

- Using the Density Control Schedule, fill in the minimum area requirements, in 'Required' column.
- Indicate the existing set-back dimensions and percentages in the 'Existing' column.
- In the column labeled 'Proposed', indicate the dimensions, area (in square feet) and percentages that will result from your proposed construction.
- In the column labeled pre-existing non-conforming, indicate the pre-existing variance from code.
- In the column labeled 'Variance', indicate the variance requested.



	REQUIRED	EXISTING	PROPOSED	Pre-Exist Non-Conforming	VARIANCE
Residential Minimum Lot Area	4,000	24,101	24,101		
Residential Minimum Lot Width	65'	149.78'	149.78'		
Minimum Open Space %	85%	83.0	83.0%	2.0%	N/C
Minimum Front Yard Setback	20'	21.2'	21.2'		
Minimum Left Side Yard Setback	15'	19.71' 18.2'	18.2'		
Minimum Right Side Yard Setback	10'	62.3	62.3		
Minimum Both Side Yards Setback	20'	80.5	80.5		
Minimum Rear Yard Setback	25	52	52		
Max Width Structure (% lot width)	80%	28%	28%		
Max Stories of Building	2 1/2	2	2		
Max Building Height	40'	35'	35'		
Minimum Livable Floor Area	1200	< 1200	< 1200		

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information

Name of Action or Project: ECROTT ADDITION		
Project Location (describe, and attach a location map): 185 Dickard Road - NORTH SIDE OF ROAD BRUN SWICKHEAD PARKWAY		
Brief Description of Proposed Action: REMOVE DECK ADD 10'x26' 1 STORY ADDITIONAL 10'x18' 2ND FLOOR ADDITION, DOWNWELL		
Name of Applicant or Sponsor: Tom & Molly Elliott	Telephone: 915-730-1745	
Address: 185 Dickard Road	E-Mail: MEL10FF@hushkenna.com	
City/PO: Stonewater, VA	State: VA Zip Code: 13153	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: PERMIT - VILLAGE		NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		a. 0.55 acres b. 20.05 acres c. 0.55 acres
4. Check all land uses that occur on, are adjoining or near the proposed action:		
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland		

5.	Is the proposed action,	NO	YES	N/A
	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.	Is the proposed action consistent with the predominant character of the existing built or natural landscape?	<input type="checkbox"/>	NO	YES
7.	Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	<input type="checkbox"/>	NO	YES
	If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8.	a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	<input checked="" type="checkbox"/>	YES
	b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9.	Does the proposed action meet or exceed the state energy code requirements?	NO	NO	YES
	If the proposed action will exceed requirements, describe design features and technologies:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10.	Will the proposed action connect to an existing public/private water supply?	NO	NO	YES
	If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11.	Will the proposed action connect to existing wastewater utilities?	NO	NO	YES
	If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12.	a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	<input checked="" type="checkbox"/>	YES
	b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13.	a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	<input checked="" type="checkbox"/>	YES
	b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:			
<input type="checkbox"/> Shoreline	<input type="checkbox"/> Forest	<input type="checkbox"/> Agricultural/grasslands	<input type="checkbox"/> Early mid-successional
<input type="checkbox"/> Wetland	<input type="checkbox"/> Urban	<input checked="" type="checkbox"/> Suburban	
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
16. Is the project site located in the 100-year flood plan?		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
a. Will storm water discharges flow to adjacent properties?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE			
Applicant/sponsor/name: <u>ROBERT O'CONNOR</u>		Date: <u>3.13.2024</u>	
Signature: <u>Robert O'Connor</u>		Title: <u>OWNER</u>	

PRINT FORM

MAR 13 2024

VILLAGE OF SKANEATELE



ELLIOTT - 125 ORCHARD ROAD



NOTE: ADDITION OVER EXISTING DECK,
NO CHANGE IN GRADE

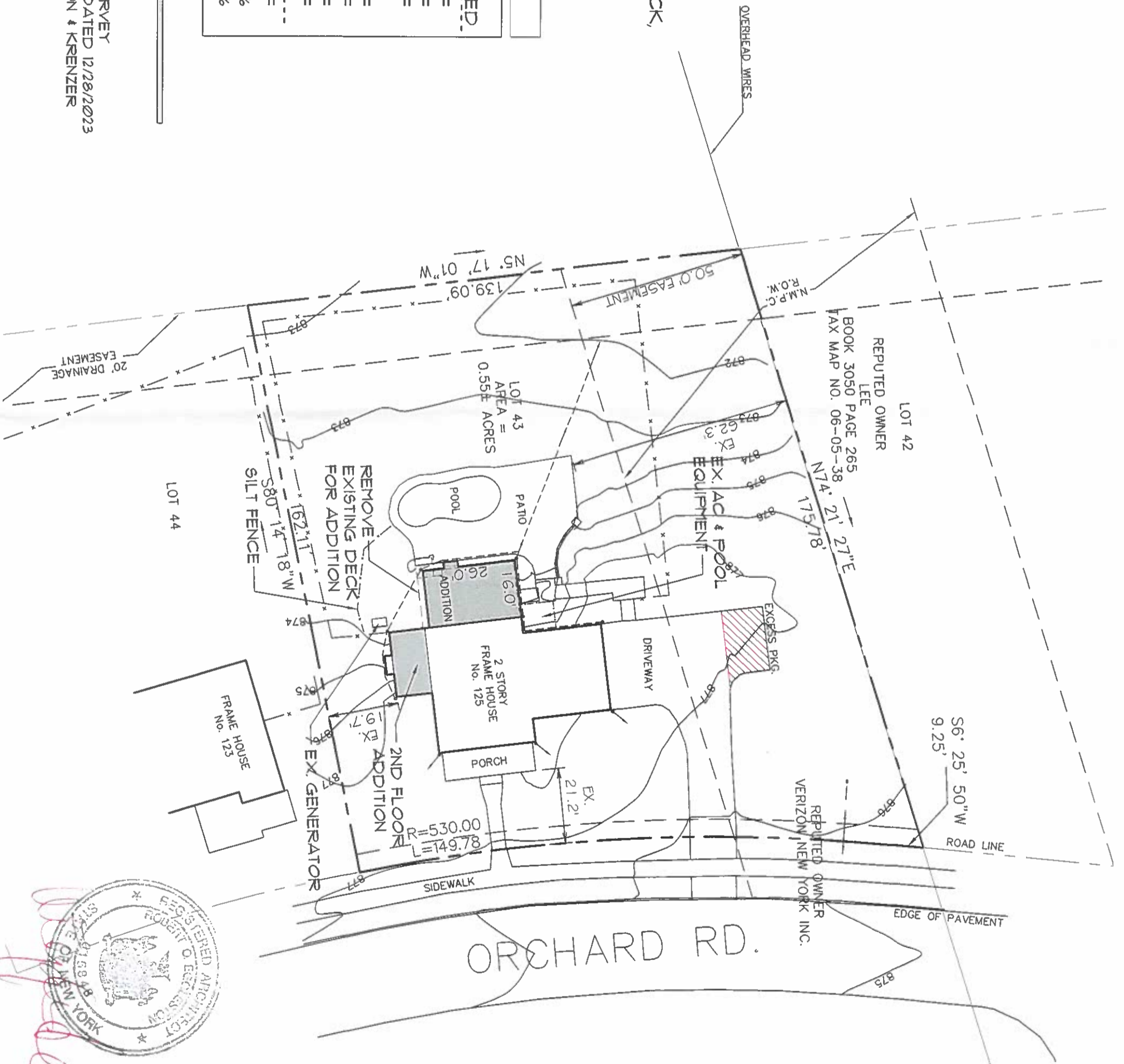
LOT AREA	24,101 SF
LOT COVERAGE	
HOUSE w/ GARAGE	1,689 SF
ADDITION	423 SF
DRIVEWAY	214 SF
(EXCESS PKG.)	
PORCH	206 SF
DECK	421 SF
PATIO/POOL	1,294 SF
SIDEWALK	269 SF
TOTAL	4,095 SF
% COVERAGE	17.0 %
% OPEN AREA	83.0 %

SITE PLAN

SCALE: 1" = 30' - 0"

NORTH

SITE INFORMATION IS OBTAINED FROM SURVEY
DONE BY PAUL J. OLSZEWSKI, P.E., L.L.S. DATED 12/28/2023
ADDITIONAL INFORMATION BY EGGLESTON & KRENZER
ARCHITECTS P.C.



DATE: 13 MARCH 202

1 OF 5

PROJ: 23252

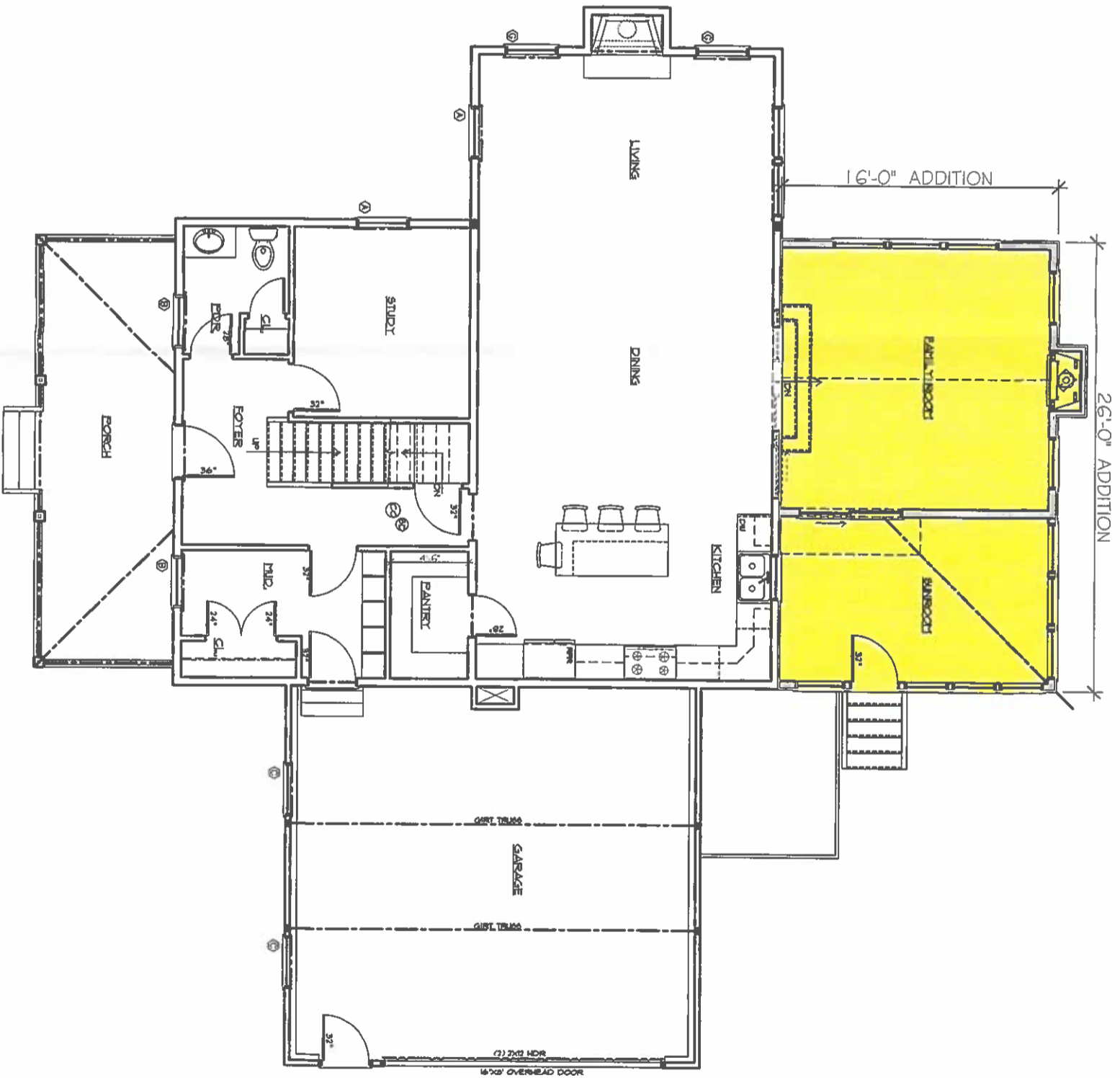
architect

EGGLESTON & KRENZER, ARCHITECTS PC
139 | EAST GENESEE STREET
SKANEATELES, NY 13152
(315) 685-8144

SITE PLAN

TOM & MOLLY ELLIOTT
LOT 43, ORCHARD RD.
V. OF SKANEATELES, NY

FIRST FLOOR PLAN
 SC: 1/8" = 1'-0"



DATE: _____
 13 MARCH 2024

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PROJ: 17089

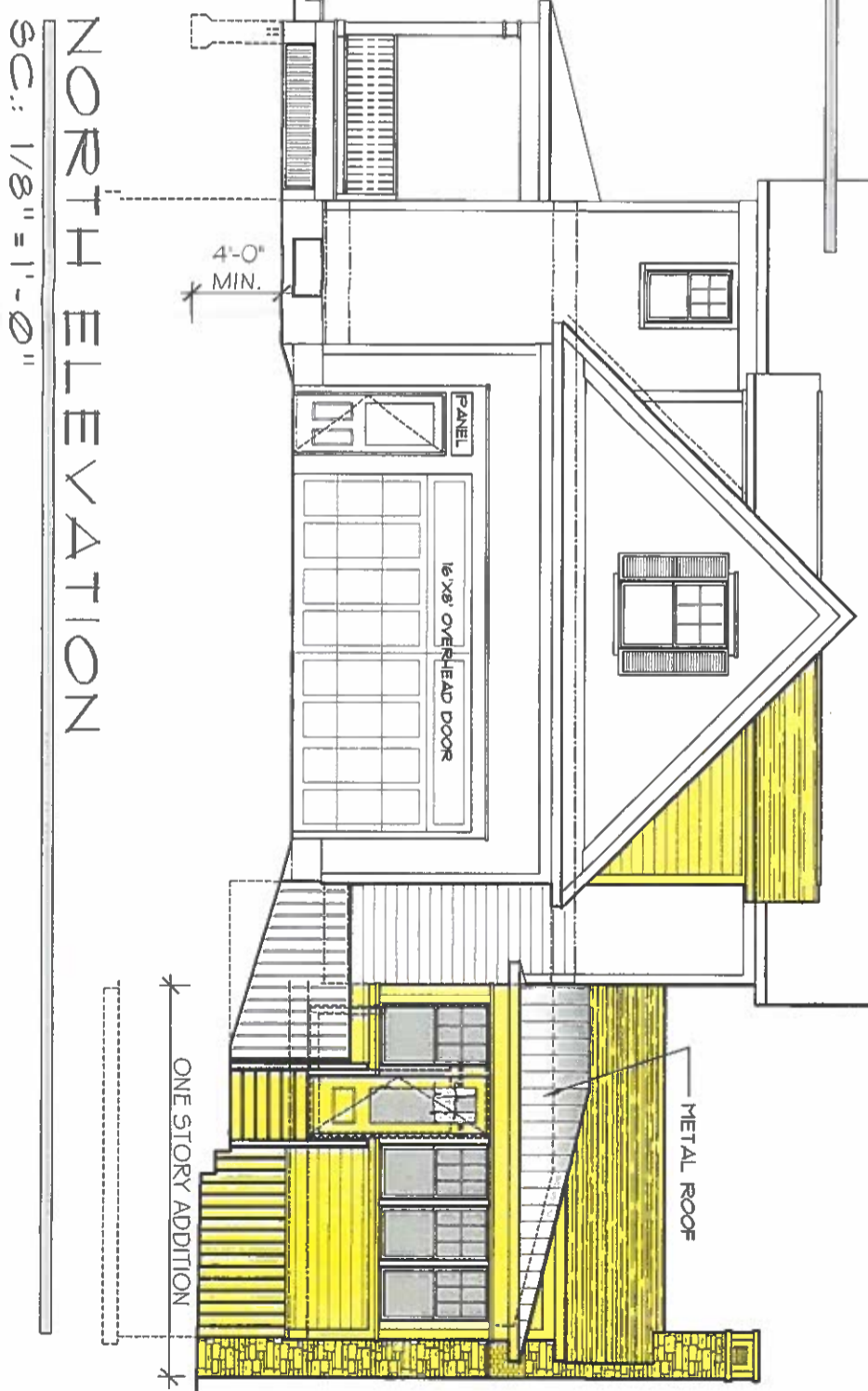
a r c h i t e c t

ROBERT O. EGGLESTON
 1391 EAST GENESEE STREET
 SKANEATELES, NY 13152
 (315) 685-8144

NEW RESIDENCE:
 TOM & MOLLY ELLIOTT
 LOT 43, ORCHARD RD
 SKANEATELES, NY



WEST ELEVATION
 SC.: 1/8" = 1'-0"



NORTH ELEVATION
 SC.: 1/8" = 1'-0"

DATE: 13 MAR 2014
 4 OF 5

PROJ: 14025

architect
 ROBERT O. EGGLESTON
 1391 EAST GENESEE STREET
 SKANEATELES, NY 13152
 (315) 685-8144

NEW RESIDENCE:
 TOM & MOLLY ELLIOTT
 LOT 43, ORCHARD RD
 SKANEATELES, NY



NEW RESIDENCE:
 TOM & MOLLY ELLIOTT
 LOT 43, ORCHARD RD
 SKANEATELES, NY

architect
 ROBERT O. EGGLESTON
 1391 EAST GENESEE STREET
 SKANEATELES, NY 13152
 (315) 685-8144

PROJ: 14025

DATE:
 13 MAR 2014

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