

March 12, 2024

To Village of Skaneateles
26 Fennel St.
Skaneateles, NY, 13152

Cc Ian & Abby Carroll, file

From Ramsgard

Project Ian & Abby Carroll – 79 E Lake St.

Project No. 2328

All Board Members,

Ian and Abby Carroll are seeking Site Plan Approval to construct a new home and attached garage on their property at 79 E Lake St. The existing home was constructed in 1880, and although it has served the family well for generations, it has been determined that the best path forward for the property is to demolish the existing home and construct a new home that better meets the needs of a modern family.


The proposed plan involves the demolition of the existing 2-story home (1880) and detached garage (1970), along with the construction of a new 2-story home with attached garage. The existing barn (1888) on the property was recently restored by the Carrolls (2020) and will remain in place. The proposed work also involves revisions to the existing driveway and hardscaping scheme in service of the overall project.

The proposed new home will be constructed in the "Cottage" architectural style and is proposed at a scale appropriate to the neighborhood. The plan is in line with the context of the area and will be built in harmony with the adjacent properties. The existing home, although constructed in 1880, has no historic value and is not architecturally significant. Renovating the existing structure to the level necessary for modern use would be cost prohibitive to the owners and is not a viable option for the Carroll family.

The existing curb cut for the driveway will be maintained with the new construction, while the driveway sequence will be modified to accommodate the new attached garage scheme. The proposed scheme minimizes the surface area of the driveway and allows greater utilization of the rear yard as green space.

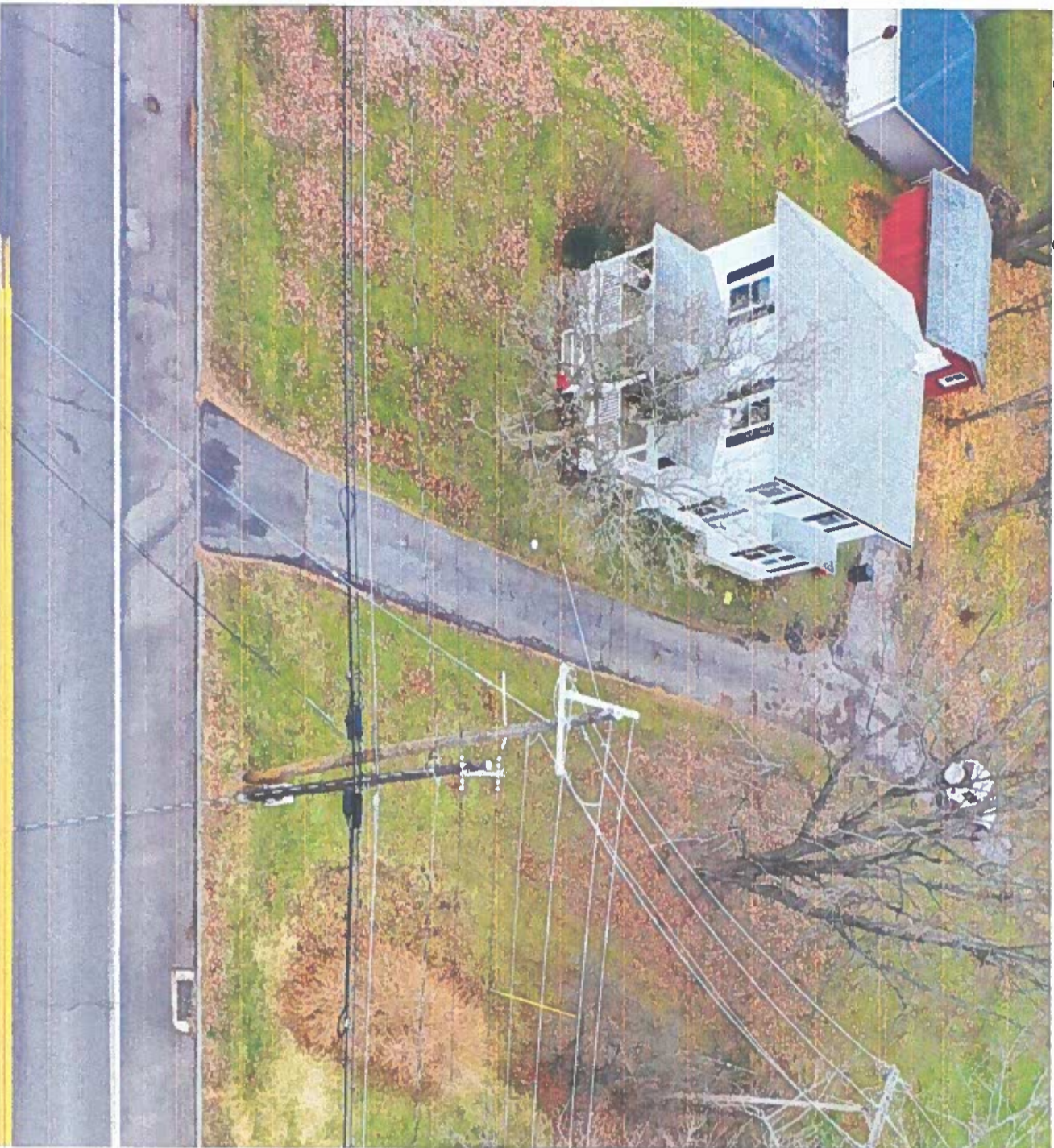
The proposed plan is in line with the Village of Skaneateles Zoning Ordinance and achieves maximum compatibility and protection of adjacent residential uses. Plantings will be introduced as needed for privacy and character of the neighborhood. Because the property is located within the Skaneateles Lake watershed, extra care will be taken to ensure that construction will not negatively impact the local environment.

Sincerely,

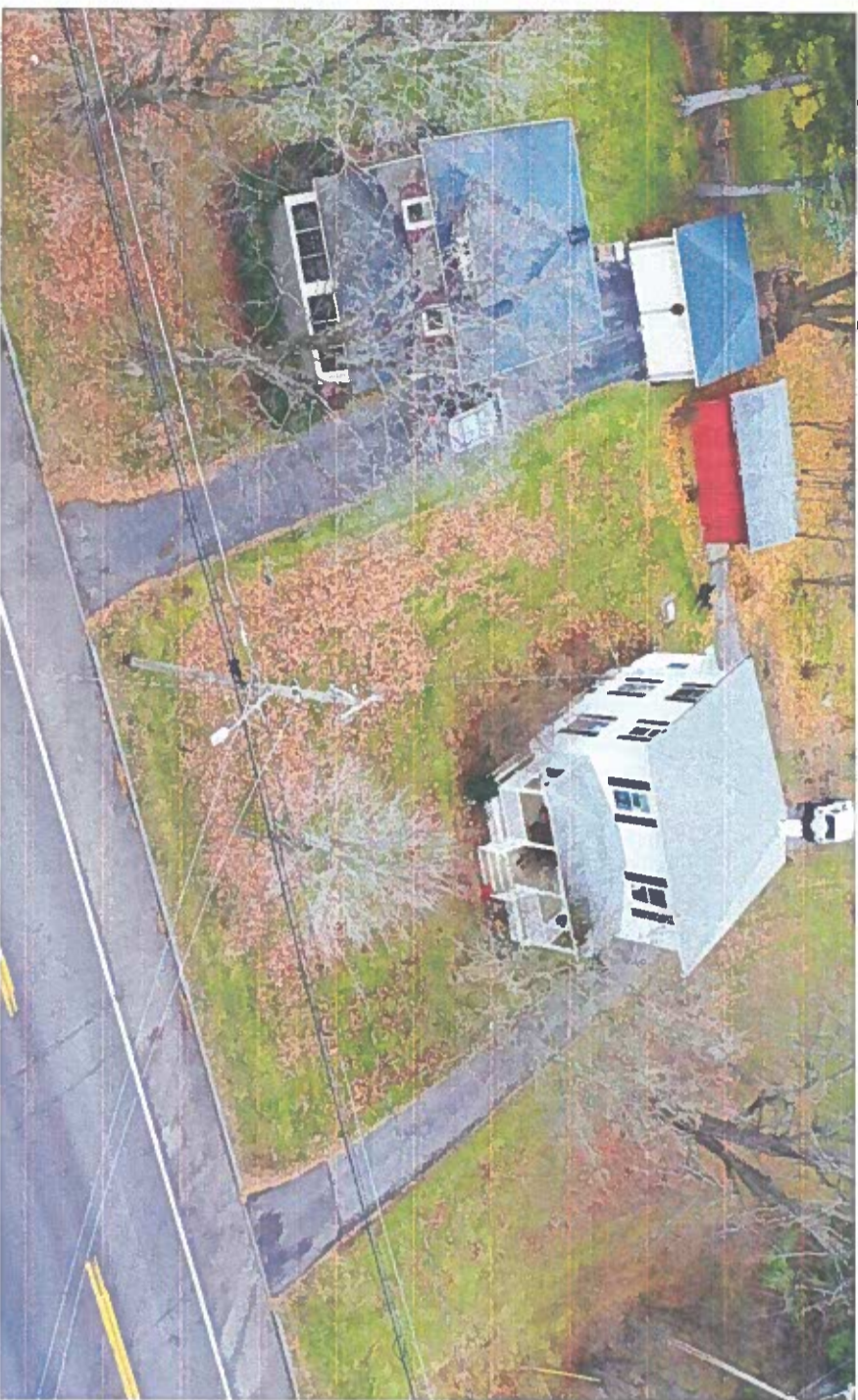

Adrienne G. Drumm
(Ramsgard)



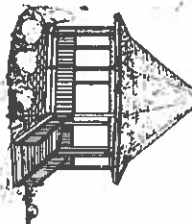
Existing Home & Garage:



Existing Home and Garage:



61 East Genesee Street | Skaneateles, New York 13152
315.685.0263 | ramsgard.com



VILLAGE OF SKANEATELES
 26 Fennell St.
 Skaneateles, NY 13152
 315-685-2118

APPLICATION FOR
 BUILDING/ZONING PERMIT

Fee:
 Check #:
 Date paid:
 Permit #:
 Date of Issue #:

Name of Applicant Ian Carroll Applicant Email ian.c.carroll@gmail.com

PROJECT ADDRESS 79 E Lake St TAX MAP ID# 013.-02-01.0
 PROPERTY OWNER Ian Carroll PHONE # (315) 685-5866
 EMAIL ADDRESS ian.c.carroll@gmail.com

SQUARE FOOTAGE OF NEW WORK ±4,270 sf

DESCRIPTION OF WORK TO BE DONE (include more detail as an attachment if necessary)

Proposed work involves the demolition of an existing 2-story home (c.1880) and detached garage (c.1970) and the construction of a new 2-story home with an attached garage. The existing barn on site will remain.

For Office Use Only

ACCURATE PROJECT COST _____

SQUARE FOOTAGE OF PARCEL ±67,220 sf

ZONING DISTRICT A-1

Setbacks - Existing Structure Setbacks - Proposed work
 (Distances from structure to property or lot lines)

Front Yard 29 _____ ft.	Front Yard 28 _____ ft.
Left Side Yard 34 _____ ft.	Left Side Yard 25 _____ ft.
Right Side Yard 83 _____ ft.	Right Side Yard 30 _____ ft.
Rear Yard 375 _____ ft.	Rear Yard 340 _____ ft.

New connection for: (Yes/No) Sewer No _____ Electric Service No _____ Storm Sewer No _____

CONTRACTOR / AGENT INFORMATION:

Contractor _____ Architect _____

NAME Adrienne Drumm / Andrew Ramsgard
 PHONE # (315) 685-5866
 ADDRESS 61 E Genesee St. Skaneateles NY
 EMAIL adrienne@ramsgard.com / andy@ram

CHECKLIST ITEMS: PROPERTY SURVEY STAMPED ARCHITECTURAL PLANS ASBESTOS REPORT
 DRAINAGE + GRADING PLAN OTHER WORKMANS COMP AND LIABILITY INSURANCE JOB PROPOSAL

Detailed instructions available at Code Enforcement Office or www.villageofskaneateles.com

The Village requires that projects comply with the zoning law, and applicants and design professionals must prepare their projects accordingly. Where practical difficulties or unnecessary hardships may result from enforcement of the strict letter of the code, applications for variances may be made to the Village Zoning Board of Appeals.

ACKNOWLEDGEMENTS:

- I AM THE OWNER APPLICANT AGENT OF OWNER AND AM AUTHORIZED TO MAKE THIS APPLICATION.
- I AUTHORIZE THE CODE ENFORCEMENT OFFICER TO ENTER THE PROPERTY TO MAKE INSPECTIONS AS PRESCRIBED UNDER LOCAL AND STATE LAWS.
- I WILL NOTIFY THE CODE ENFORCEMENT OFFICER IMMEDIATELY OF ANY CHANGES DURING THE COURSE OF THE WORK.
- I WILL NOTIFY THE CODE ENFORCEMENT OFFICER WHEN INSPECTIONS ARE DUE.
- FURTHERMORE, I AGREE THAT THE BUILDING OR PROJECT WILL NOT BE OCCUPIED OR USED UNTIL A CERTIFICATE OF COMPLIANCE/ CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.
- The applicant and/or agent declares that the information contained in this application, and the plans, specifications and other supporting materials submitted in support of this application is true and has made such representations to induce the Village of Skaneateles to issue a Building/Zoning Permit and the applicant will comply with all laws, codes and ordinances controlling this work.

NAME of APPLICANT Jan and Abby Carroll PHONE # (315) 685-5866 EMAIL jan.c.carroll@gmail.com
 ADDRESS 79 E. Lake St. Skaneateles NY 13152
 SIGNED Jan Carroll, ORR
 DATE 3-11-24

Affidavit of Applicant or Agent

(To be completed if application is not made by the property owner)

STATE OF NEW YORK)
) SS:
 COUNTY OF ONONDAGA)

On this ___ day of __, 20___; personally appeared before me:

NOTARY PUBLIC _____

For Code Enforcement Office Use Only

Date Received 3/14/24 Date Reviewed 3/25/24

Application Status: Approved Denied

Reasons for denial – Does Not Comply With the Following:

Section 225-A5, Density Control Schedule for:

Front Yard Setback _____ Side Yard Setback, left _____ Side Yard Setback, Right _____
 Rear Yard Setback _____ Percentage of Open Area _____ Both Side Yards Combined _____
 Percentage of Structure width/lot width _____

Other Density Control Schedule _____

Section 225-69D, Non-conforming Buildings, Structures and Uses, Extension or Expansion

Section 225-14(d), Swimming Pools, 25 ft. distance to lot lines

Section 225-14C (5) (a/b), Accessory Buildings, distance to lot lines or structures

Section 225-A1-3, Permitted Use Chart

Other Sections of the Zoning Law 225-29 SITE PLAN REVIEW FOR DEMO.

And/or Needs:

- _____ Certificate of Approval from the Historical Landmarks Preservation Commission, Section 225-25
- _____ Critical Impact Permit, per Section 225-52, form Board of Trustees
- _____ Special Use Permit from the Zoning Board of Appeals

SIGNATURE: _____

Staff and boards review, as applicable:

Planning Board Review _____ Zoning Board of Appeals Approval _____
 Critical Impact Permit Approval N/A Historical Commission Approval N/A

ZONING BOARD OF APPEALS
Village of Skaneateles
26 Fennell Street
Skaneateles, NY 13152
315-685-2118 Fax 315-685-0730

[] NOTICE OF APPEAL [] APPLICATION FOR SPECIAL USE PERMIT

Date of Application _____

To the Zoning Board of Appeals of the Village of Skaneateles, Onondaga County, New York

I/We Ian & Abby Carroll

Printed or Typed Name of Appellant(s) and/or Applicant(s)

Address 79 E Lake St. Skaneateles NY 13152

(1) I hereby appeal the decision of the Village Code Enforcement Officer (Building Inspector)

_____ which was denial of a Zoning Permit

_____ which was denial of a Certificate of Occupancy

to vary the strict application of the provisions of:

Article VII Section 225 Subsection 29 (Site Plan Approval)

Article _____ Section 225 Subsection _____

Article _____ Section 225 Subsection _____

(2) I hereby apply for: (check all applicable)

_____ A SPECIAL USE PERMIT required by the provisions of Article III, Section 225-10
B (1) & Section 225-11 B (2)

_____ A FLOODWAY PERMIT required by the provisions of Article III, Section 225-10

.....
B (3) & Article VI, Section 225-18 B
.....

This appeal or application relates to:

79 Street Number E Lake St Street Name

Tax Map Number 013.-02-01.0

Property Address 79 E Lake St

Zoning District: A-1 Tax Map # 013-02-01.0

- Using the Density Control Schedule, fill in the minimum area requirements, in 'Required' column.
- Indicate the existing set-back dimensions and percentages in the 'Existing' column.
- In the column labeled 'Proposed', indicate the dimensions, area (in square feet) and percentages that will result from your proposed construction.
- In the column labeled pre-existing non-conforming, indicate the pre-existing variance from code.
- In the column labeled 'Variance', indicate the variance requested.

	REQUIRED	Existing	PROPOSED	Pre-Exist Non-Conforming	VARIANCE
Residential Minimum Lot Area	44,000 sf	±48,407 sf	±48,407 sf		
Residential Minimum Lot Width	150 ft	±152 ft	±152 ft		
Minimum Open Space %	90%	±96%	±90.3%		
Minimum Front Yard Setback	30 ft*	±29 ft	±28 ft		None per 225-15-A(3)
Minimum Left Side Yard Setback	25 ft	±34 ft	±25 ft		
Minimum Right Side Yard Setback	25 ft	±63 ft	±30 ft		
Minimum Both Side Yards Setback	55 ft	±97 ft	±55 ft		
Minimum Rear Yard Setback	35 ft	±375 ft	±340 ft		
Max Width Structure (% lot width)	55%	±19%	±53%		
Max Stories of Building	2.5	2	2		
Max Building Height	40 ft	±31 ft	±27.75 ft		
Minimum Livable Floor Area	1,200 sf	±1,452 sf	±3,400 sf		

ZONING BOARD OF APPEALS
Village of Skaneateles 26 Fennell Street
Skaneateles, NY 13152
315-685-2118

List below any OTHER variances, Special Permits requested
(Section of the Zoning Law) (Description)

Please state below all reasons to support your appeal or application using the Criteria on page 2 of 4. Attach other sheets as needed to support your appeal/application.

See attached narrative.

ACKNOWLEDGEMENTS:

- I AM THE OWNER [] APPLICANT [] AGENT OF OWNER AND AM AUTHORIZED TO MAKE THIS APPLICATION.

- The applicant and/or agent declares that the information contained in this application, and the plans, specifications and other supporting materials submitted in support of this application is true.

NAME of APPLICANT Ian and Abby Carrell PHONE # (315) 685-5866
ADDRESS 79 E. Lake St. Skaneateles NY 13152
EMAIL ian.c.carrell@gmail.com
SIGNED Ian Carrell DATE 3-11-24

Affidavit of Applicant or Agent

(To be completed if application is not made by the property owner)

STATE OF NEW YORK)
) SS:
COUNTY OF ONONDAGA)

On this _____ day of _____, 20____,
_____ personally appeared before me.

NOTARY PUBLIC

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information

Name of Action or Project:			
Carroll Residence - Demolition and Construction of New Residence			
Project Location (describe, and attach a location map):			
79 E Lake St. Skaneateles, NY 13152			
Brief Description of Proposed Action:			
Proposed work involves the demolition of an existing 2-story home (c.1880) and detached garage (c.1970) and the construction of a new 2-story home with an attached garage. The existing barn on site will remain.			
Name of Applicant or Sponsor:		Telephone: (315) 685-5866	
Ian Carroll		E-Mail: ian.c.carroll@gmail.com	
Address:			
79 E Lake St			
City/PO: Skaneateles		State: NY	Zip Code: 13152
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: City of Syracuse Water Authority		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.54 acres	
b. Total acreage to be physically disturbed?		0.35 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.54 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,		NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?		NO	YES	
If the proposed action will exceed requirements, describe design features and technologies:	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?		NO	YES	
If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?		NO	YES	
If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		NO	YES
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,		NO	YES
a. Will storm water discharges flow to adjacent properties?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:		<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:		NO	YES
<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor name: Ian Carroll Date: _____

Signature: Ian Carroll Title: _____

Agency Use Only (If applicable)

Project:

Date:

Short Environmental Assessment Form Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Agency Use Only (in applicability)
Project: _____
Date: _____

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT FORM

Village of Skaneateles
26 Fennell Street
Skaneateles, New York 13152
315-685-2118 Fax 315-685-2118

.....
APPLICATION FOR A DEMOLITION PERMIT
.....

Fill out the following information regarding the demolition of the structure. Submit an up to date survey map of the property showing the location of the structure to be demolished. The owner or authorized agent of the structure must sign this application. The fee for this permit is \$50.00

Date _____

Name of Applicant Ian & Abby Carroll Phone (315) 685-5866

Address of Applicant 79 E Lake St, Skaneateles NY 13152

Name of Structure Owner Ian Carroll

Address of Structure Owner 79 E Lake St, Skaneateles NY 13152

Name of Contractor TBD Phone # _____

Address of Contractor _____

INFORMATION ON STRUCTURE OR PORTION OF STRUCTURE TO BE DEMOLISHED:

Address 79 E Lake St, Skaneateles NY 13152

Tax Map Number 013-02-01.0

Description of Structure or Portion to be demolished _____

Demolish existing home (c.1880) and detached garage (c.1970). Existing barn (c.1888) to remain.

Village of Skaneateles
26 Fennell Street
Skaneateles, New York 13152
315-685-2118 Fax 315-685-2118

Full Demo Partial Demo Move Structure

Present use of Structure Residence / Garage Year Constructed 1880 / 1970

Reason for Demolition Home is in disrepair, proposed new home to be constructed on site.

*If the structure was built prior to 1980, please submit a copy of the Asbestos/Lead Survey Report and the Removal Abatement Certification Declaration.

What will be the disposition and safety protection of any resulting open excavation? _____
The excavation will be immediately infilled following demolition.

Detail dust control and erosion control methods to be used during demolition _____
Siltsoxx will be installed around the work perimeter for erosion control during demolition.

Have utility connections been terminated? Water No Electric No Gas No Sewer No
(connections will be terminated prior to demolition)

What hours of the day will the demolition process take place? 8:00am - 5:00pm

Will there be a new structure to replace demolished structure? Yes

Was the Onondaga County Department of Health Division of Environmental Health contacted?

Yes/No No *Contact will be made prior to demolition

Ken Canell Ken Canell
Signature of Applicant Signature of Structure Owner

Date 3-11-24

DENSITY CONTROL SCHEDULE - VILLAGE OF SKANEATELES

A-1 DISTRICT

	REQD./ALLOWED	EXISTING	PROPOSED	DIFFERENCE	VARIANCE
MINIMUM LOT AREA	44,000 SF	±48,407 SF	±48,407 SF	NONE	NONE
MINIMUM LOT WIDTH	150 FT	±152 FT	±152 FT	NONE	NONE
MINIMUM OPEN SPACE	40%	±4.5%	±4.3%	±4.2%	NONE
MINIMUM FRONT YARD SETBACK	30 FTA	±29 FT	±28 FT	±1 FT	NONE ^A
MINIMUM SIDE YARD SETBACK (LEFT / NORTH)	25 FT	±34 FT	±30 FT	±4 FT	NONE
MINIMUM SIDE YARD SETBACK (RIGHT / SOUTH)	25 FT	±63 FT	±30 FT	±33 FT	NONE
MINIMUM SIDE YARD SETBACK (BOTH)	55 FT	±47 FT	±55 FT	±42 FT	NONE
MINIMUM REAR YARD SETBACK	35 FT	±375 FT	±340 FT	±35 FT	NONE
MAXIMUM WIDTH OF STRUCTURE (% LOT WIDTH)	55%	±19%	±53%	±34%	NONE
MAXIMUM BUILDING HEIGHT (PITCHED ROOF)	2.5 STORIES / 40 FT	2 STORIES / ±31 FT	2 STORIES / ±27.75 FT	±1.75 FT	NONE
MINIMUM LIVABLE FLOOR AREA	1,200 SF	±1,452 SF	±3,400 SF	±1,948 SF	NONE

(A) IF THE AVERAGE SETBACK OF EXISTING BUILDINGS FRONTING ON THE SAME STREET AS THE PROPOSED STRUCTURE AND LOCATED ON LOTS ADJOINING THE SUBJECT PROPERTY IS LESS THAN THE SETBACK REQUIRED HEREIN, THEN THE MINIMUM SETBACK REQUIRED OF THE SUBJECT PROPERTY SHALL BE THAT OF SUCH AVERAGE SETBACK, BUT IN NO CASE SHALL THE SETBACK FROM THE STREET RIGHT-OF-WAY BE LESS THAN 10 FEET. SIMILARLY, IF THE SUBJECT PROPERTY IS A CORNER LOT REQUIRING TWO FRONT YARD SETBACKS, ONE OF SAID FRONT YARD SETBACKS MAY BE REDUCED BY 30%.



RAMSGARD architects - planners - designers



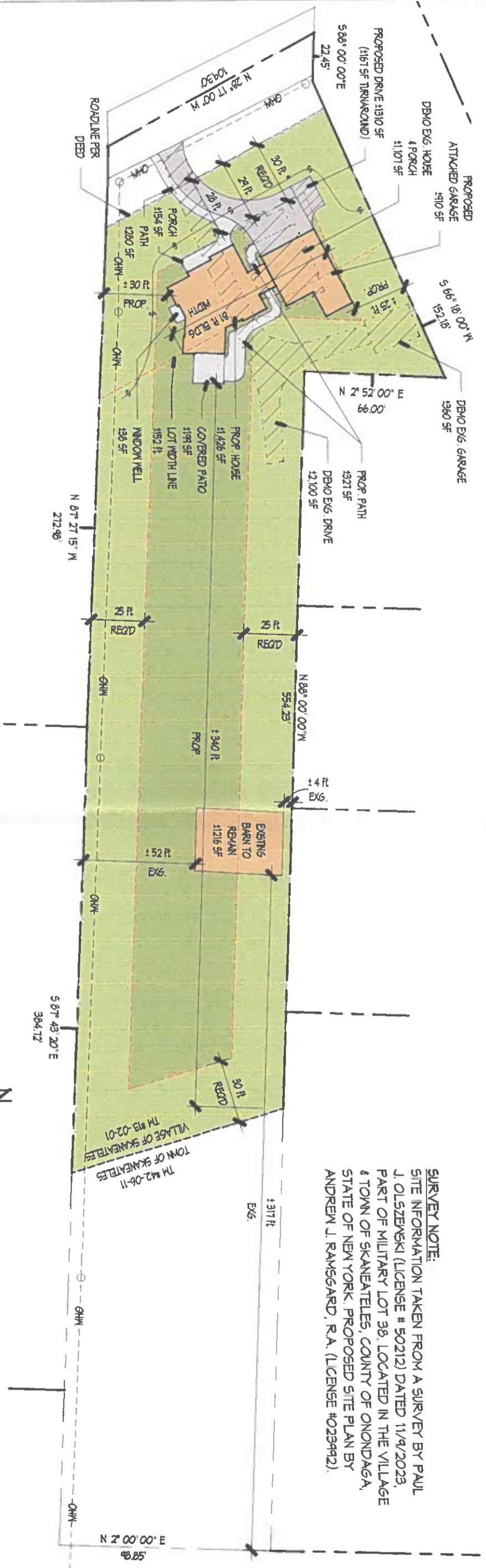
CARROLL RESIDENCE
CUSTOM NEW RESIDENCE
74 E Lake St.

THE CONTRACTOR SHALL...
ALL DIMENSIONS AND SPACES...
AND SHALL BE USED ON...
AND DISREGARDED.

REVISIC
NO. 1
REVISION

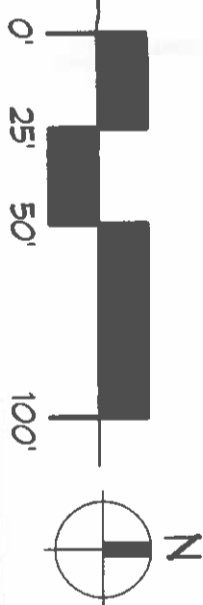
Site Plan
PROJ. NO.
DRAWN BY
SCALE
DATE

Z-1.0

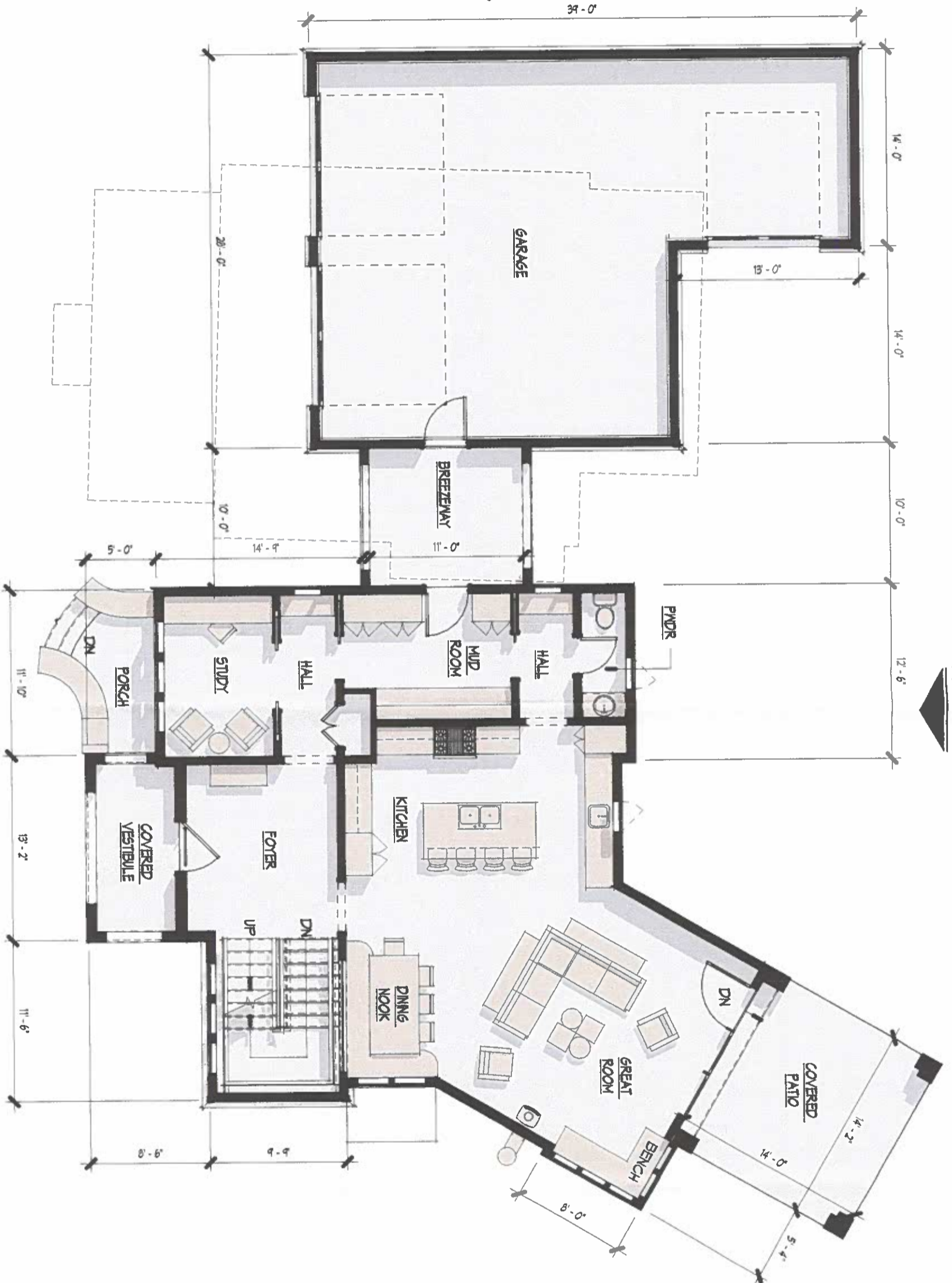


SURVEY NOTE:
SITE INFORMATION TAKEN FROM A SURVEY BY PAUL J. OLSZENSKI (LICENSE # 50212) DATED 11/9/2023, PART OF MILITARY LOT 38, LOCATED IN THE VILLAGE & TOWN OF SKANEATELES, COUNTY OF ONONDAGA, STATE OF NEW YORK. PROPOSED SITE PLAN BY ANDREW J. RAMSGARD, R.A. (LICENSE #0239442).

1
Site Plan
SCALE: 1" = 50'-0"



2 / Z-2.2



1 / Z-2.2

2 / Z-2.1

1
Z-1.1

First Floor Plan

SCALE: 1/8" = 1'-0"

1 / Z-2.1



CARROLL RESIDENCE

CUSTOM NEW RESIDENCE

79 E Lake St.

RAMSGARD

architects • planners • designers
60 E Geneva St. Canastota, NY 13315

REVISIC
NO. REVISION

Empty Level Plan

PROJ#

DRAWN BY

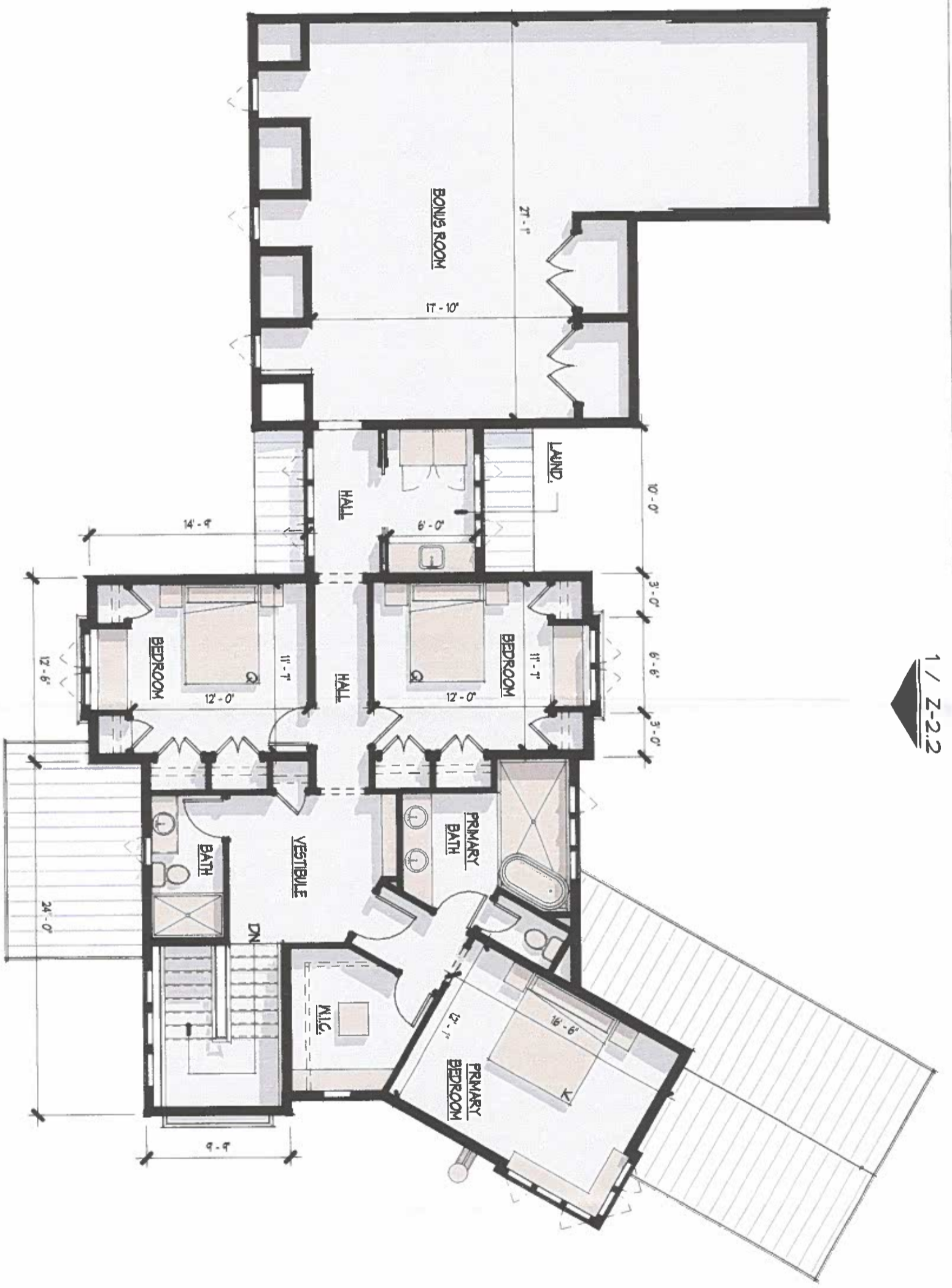
SCALE

DATE

Z-1.1

3/13/2014 jst

1 / Z-2.2

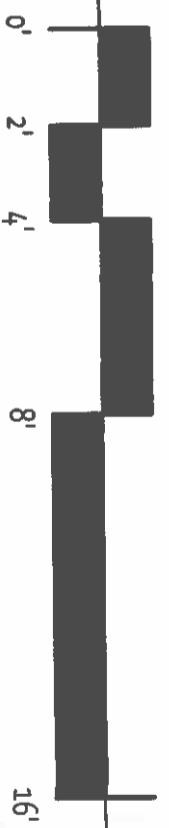


2 / Z-2.1

1 / Z-1.2

Second Floor Plan
SCALE: 1/8" = 1'-0"

1 / Z-2.1



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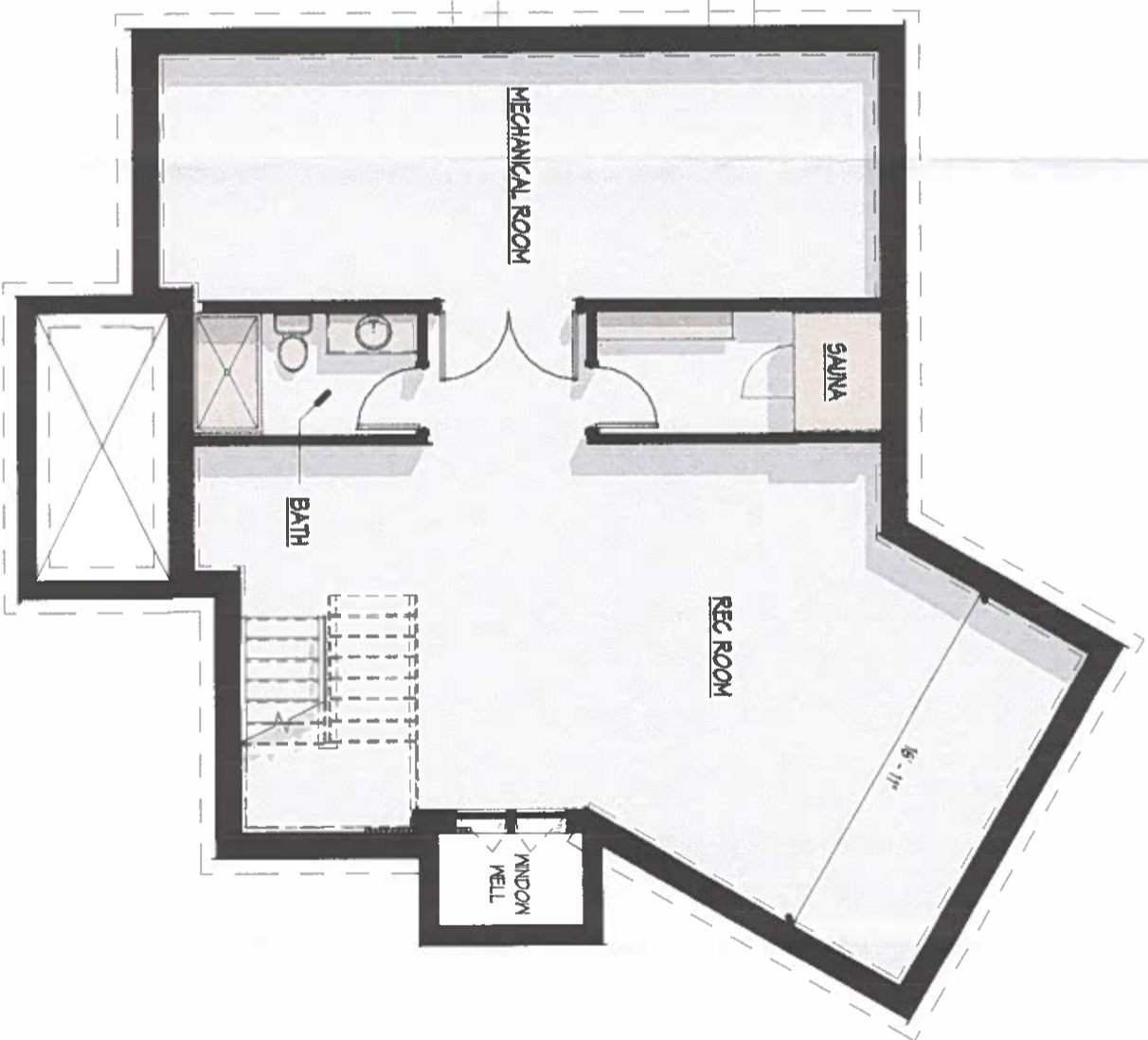
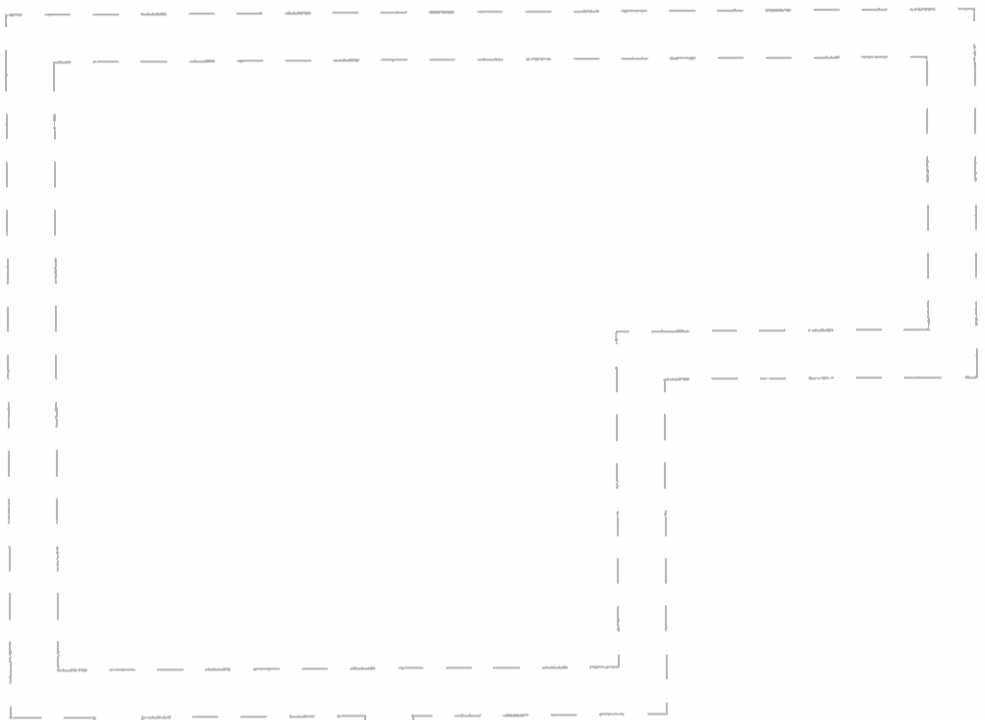
REVISION

NO.	REVISION

Upper Level Plan
PROJECT:
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SCALE:
DATE:

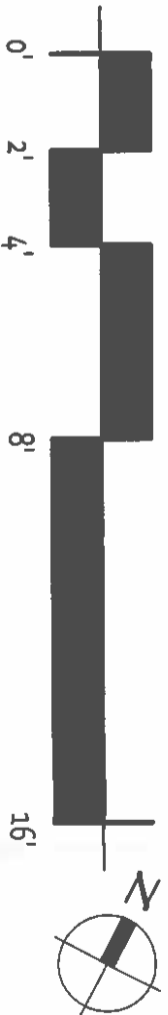
Z-1.2

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Basement Floor Plan

1
Z-1.3 SCALE: 1/8" = 1'-0"



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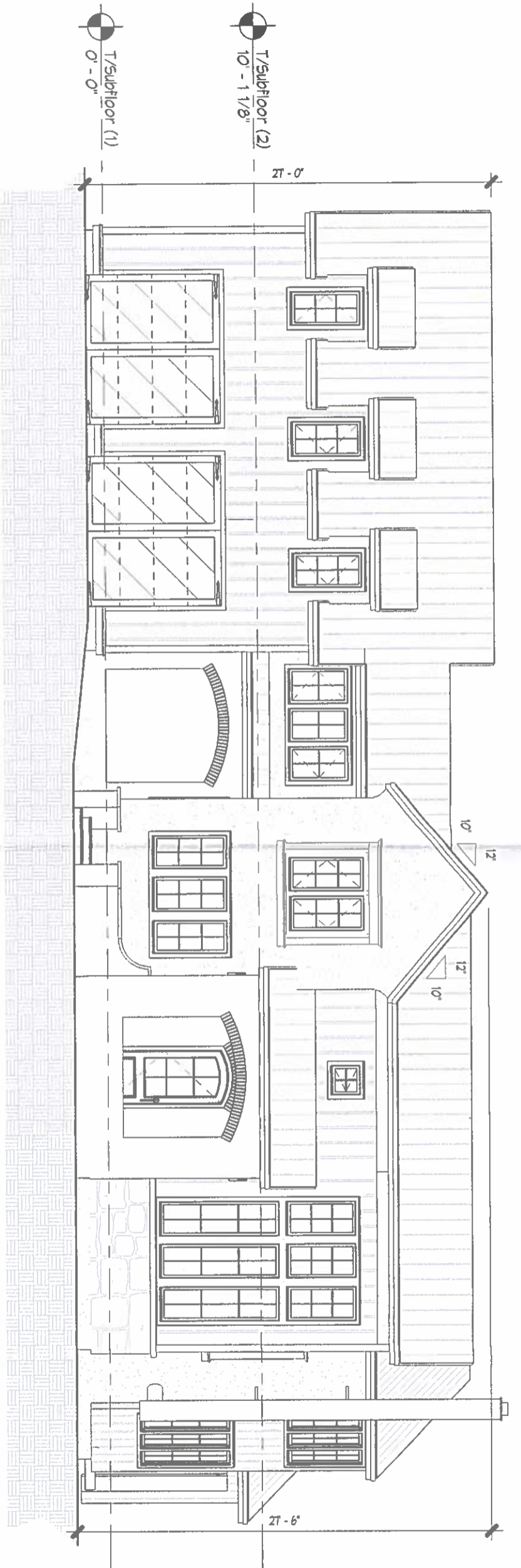
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE PROPRITIORS PROPERTY BEFORE THE START OF ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR ALL OTHERS. PART 4.10 OF 111 E.V. EDUCATIONAL REPORT NEW HURTS ANY AND ALL ALTE TO THE DRAWING OR DOCUMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ARCHITECT AND ENGINEER SHALL BE NOTED. SCALED DRAWING SHALL BE USED TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OTHERS.

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Lower Level Plan

PROJ.
DRAWN BY:
SCALE:
DATE:

Z-1.3



1
Elevation 4 - a
SCALE: 1/8" = 1'-0"



2
Elevation 1 - a
SCALE: 1/8" = 1'-0"



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THE CONTRACTOR SHALL
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PROPERTY NOTIFY THE
ARCHITECT IMMEDIATELY
IN WRITING AND BY
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AND SHALL BE USED ON
JOB DESIGNATED
PART 99.01 OF TITLE V
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OF PART 99.01.

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NO. REVISION

Elevations

PROJ#:

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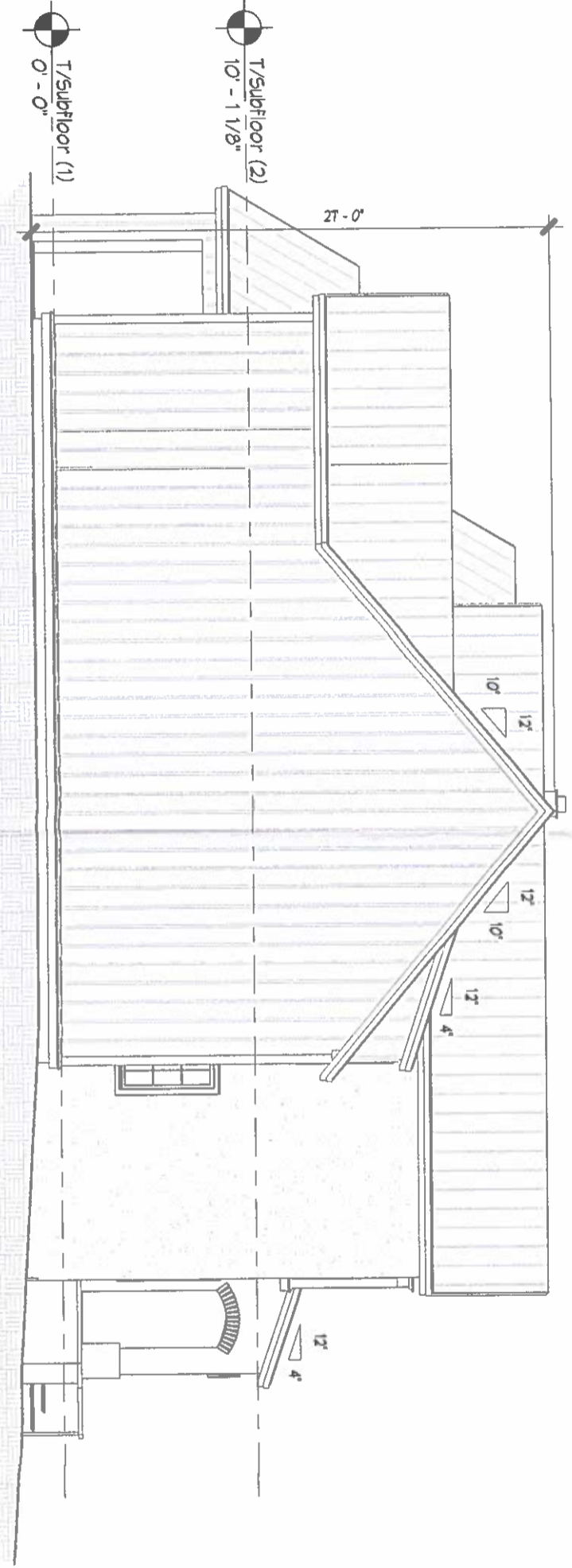
DATE:

Z-2.1

3/15/2014



1
Elevation 3 - a
SCALE: 1/8" = 1'-0"



2
Elevation 2 - a
SCALE: 1/8" = 1'-0"



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THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE TIME OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR CORRECTING ANY DISCREPANCIES.
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
PART 6a (B) OF TITLE 17, N.J.A.C. 17:27, "REGISTRATION OF ARCHITECTS AND ARCHITECTURAL FIRMS," SHALL APPLY TO ALL ARCHITECTS AND ARCHITECTURAL FIRMS REGISTERED WITH THE BOARD OF ARCHITECTS.
OF PART 6a (B) 98L.

NO.	REVISION
1	REVISIT

Elevations
PROJ: DRAMN.BV
SCALE:
DATE:
Z-2.2