

315-685-2118
Email: codes@villageofskaneateles.com
11/16/c

Application for a Building/Zoning Permit (page 1 of 2)

Date of Application 10/11/2023 Permit Date and Number _____

Name of Applicant and/or Owner's Agent (e.g., LLC Manager or Architect) Kristy and Jason Boyles

Address of Applicant and/or Owner's Agent 108 Sinclair Street, Sec 4 Lt 30 Skaneateles, NY 13152

Applicant's Email kristyboyles@me.com & jiboyles@me.com Contact # _____

Address of worksite 108 Sinclair Street, Sec 4 Lt 30 Skaneateles, NY 13152

Name of Property Owner (if different from applicant) _____

Property Owner Address _____

Property Owner Email _____ Contact # _____

Type of Work Proposed: _____

New Structure Addition _____ Alteration _____ Swimming Pool _____ Repair _____

Fence/Wall _____ Paved Surface Other +1,137.5 sq ft garage + 311.6 SF Front Porch + 638.1 sq ft Back Porch

Square Footage of new work 4915.56 sf Accurate Project Cost _____

Describe the work proposed: New residence on vacant lot

4 Bedroom, 4 Bath, Guest Suite & attached 3 car garage

Zoning District (circle one): A-1 A-2 A-3 A-4 **B** C D PL

Tax Map Number 003-06-05.0 Square Footage of Lot 24695.8 sf

Existing use of lot Vacant Proposed use of lot Residence

STRUCTURE INFORMATION:

Single Family Two Family _____ Multi-Family _____ Garage Commercial _____

Accessory Building _____ Boat House _____ Other _____

Existing Use Vacant Proposed Use Residence



VILLAGE OF SKANEATELES

26 Fennell St

Skaneateles, NY 13152

Fax: 315-685-0730

315-685-2118

Email: codes@villageofskaneateles.com

Application for a Building/Zoning Permit (page 2 of 2)

LOT INFORMATION: Indicate in box North South East West

Setbacks - Existing Structure (Distances from structure to property or lot lines) Setbacks - Proposed work

S Front Yard N/A ft. Front Yard 15.5 ft.

W Left Side Yard N/A ft. Left Side Yard 22.5 ft.

E Right Side Yard N/A ft. Right Side Yard 17.5 ft.

N Rear Yard N/A ft. Rear Yard 69.0 ft.

New connection for: (Yes/No) Sewer Y Electric Service Y Storm Sewer Y

Does the proposed work/structure comply with the Energy Conservation Construction Code? (Yes, No, N/A) (Yes)

Architect's Name Bill Murphy

Architect's Address 3 Fennell Street, Suite 2, Skaneateles 13152

Contractor/Builder Name

Contractor's Phone #

Contractor's Address

Contractor's Email

The applicant and/or agent declares that the information contained in this application, and the plans, specifications and other supporting materials submitted in support of this application is true and has made such representations to induce the Village of Skaneateles to issue a Building/Zoning Permit and the applicant will comply with all laws, codes and ordinances controlling this work.

Date 10/06/23 Signature Jason S Boyles Kristy Boyles

Print Applicant's and/or Agent's Name Jason Boyles Kristy Boyles

Affidavit of Owner or Applicant or Agent

(To be completed if application is not made by the property owner)

STATE OF NEW YORK)

) SS:

COUNTY OF ONONDAGA)

On this ___ day of ___, 20___, personally appeared before me:

NOTARY PUBLIC

VILLAGE OF SKANEATELES

26 Fennell St

Skaneateles, NY 13152

Fax: 315-685-0730

315-685-2118

Email: codes@villageofskaneateles.com

Building/Zoning Application Review Sheet

Date Received _____ Tax Map Number _____

Applicant's Name _____

Address of Worksite _____

Permit Fee Date Received _____ Amount Received _____

Additional Info. Requested _____

Date Review Completed _____ Signature _____

Application Status: _____ Approved _____ Denied _____

Reasons for Denial - Does not comply with the following:

Section 225-A5, Density Control Schedule for:

_____ Front Yard Setback _____ Side Yard Setback, left _____ Side Yard Setback, Right

_____ Rear Yard Setback _____ Percentage of Open Area _____ Both Side Yards Combined

_____ Percentage of Structure width/lot width

Other Density Control Schedule _____

_____ Section 225-69D, Non-conforming Buildings, Structures and Uses, Extension or Expansion

_____ Section 225-14(d), Swimming Pools, 25 ft. distance to lot lines

_____ Section 225-14C (5) (a/b), Accessory Buildings, distance to lot lines or structures

_____ Section 225-A1-3, Permitted Use Chart

_____ Other Sections of the Zoning Law _____

And/or Needs:

_____ Certificate of Approval from the Historical Landmarks Preservation Commission, Section 225-25

_____ Critical Impact Permit, per Section 225-52, form Board of Trustees

_____ Special Use Permit from the Zoning Board of Appeals

Permit Number _____ Date Issue _____

Planning Board Review _____ Zoning Board of Appeals Approval _____

Critical Impact Permit Approval _____ Historical Commission Approval _____ # _____

VILLAGE OF SKANEATELES

26 Fennell St

Skaneateles, NY 13152

Fax: 315-685-0730

315-685-2118

Email: codes@villageofskaneateles.com

Building/Zoning Application Review Sheet

Date Received 16/11/23 Tax Map Number 003-06-05

Applicant's Name KRISTY AND JASON BOYLES

Address of Worksite 108 SULLIVAN ST.

Permit Fee Date Received _____ Amount Received _____

Additional Info. Requested _____

Date Review Completed 11/21/21 Signature 

Application Status: Approved Denied

Reasons for Denial - Does not comply with the following:

Section 225-A5, Density Control Schedule for:

Front Yard Setback _____ Side Yard Setback, left _____ Side Yard Setback, Right _____

Rear Yard Setback NOTED Percentage of Open Area _____ Both Side Yards Combined _____

Percentage of Structure width/lot width _____

Other Density Control Schedule _____

Section 225-69D, Non-conforming Buildings, Structures and Uses, Extension or Expansion _____

Section 225-14(d), Swimming Pools, 25 ft. distance to lot lines _____

Section 225-14C (5) (a/b), Accessory Buildings, distance to lot lines or structures _____

Section 225-A1-3, Permitted Use Chart _____

Other Sections of the Zoning Law 225-17 (3) AND (4), 225-17 (5) (c), 225-17 (7), 225-17 (8).

And/or Needs:

_____ Certificate of Approval from the Historical Landmarks Preservation Commission, Section 225-25

_____ Critical Impact Permit, per Section 225-52, form Board of Trustees

_____ Special Use Permit from the Zoning Board of Appeals

Permit Number _____	Date Issue _____
Planning Board Review _____	Zoning Board of Appeals Approval _____
Critical Impact Permit Approval <u>N/A</u>	Historical Commission Approval <u>N/A</u> # _____

ZONING BOARD OF APPEALS
Village of Skaneateles
26 Fennell Street
Skaneateles, NY 13152
315-685-2118 Fax 315-685-0730

..... (1) NOTICE OF APPEAL (2) APPLICATION FOR SPECIAL USE PERMIT

Date of Application 10/11/2023

To the Zoning Board of Appeals of the Village of Skaneateles, Onondaga County, New York

I/We Jason Boyles and Kristy Boyles

Printed or Typed Name of Appellant(s) and/or Applicant(s)

Address 108 Sinclair Street, Skaneateles, NY 13152

(1) I hereby appeal the decision of the Village Code Enforcement Officer (Building Inspector)

which was denial of a Zoning Permit

_____ which was denial of a Certificate of Occupancy

to vary the strict application of the provisions of:

Article _____ Section 225 Subsection A5

Article _____ Section 225 Subsection _____

Article ✓ Section 225 Subsection 17c (3) AND (4)

Article ✓ Section 225 Subsection 17c (5) (6)

(2) I hereby apply for: (check all applicable) 17 (7) AND (8)

_____ A SPECIAL USE PERMIT required by the provisions of Article III, Section 225-10

B (1) & Section 225-11 B (2)

_____ A FLOODWAY PERMIT required by the provisions of Article III, Section 225-10

B (3) & Article VI, Section 225-18 B

This appeal or application relates to:

108 _____ Street Number Sinclair Street _____ Street Name

Tax Map Number 003-06-05.0

ZONING BOARD OF APPEALS

Village of Skaneateles
26 Fennell Street
Skaneateles, NY 13152
315-685-2118 Fax 315-685-0730

The applicant shall use the worksheet on the following page (page 3A) to state the Zoning Board of Appeals details of the variances requested. Instructions for the completion of page 3A are as follows:

- Indicate the Zoning District of the lot at the top of page 3A.
- Using the Density Control Schedule (Section 225-A5) fill in the minimum area requirements for your Zoning District, in the column labeled "Required" on page 3A.
- In the column labeled "Existing" on page 3A, indicate the existing setback dimensions and percentages. Use box next to "Applicant" (the gray area will be completed by the Codes office).
- In the column labeled "Proposed", indicate the dimensions, area (in square feet) and percentages that will result from your proposed construction. Use box next to "Applicant" (the gray area will be completed by the Codes office).
- In the column labeled "pre-existing non-conforming", indicate the pre-existing variance from code. Use box next to "Applicant" (the gray area will be completed by the Codes office).
- In the column labeled variance, indicate the variance requested. Use box next to "Applicant" (the gray area will be completed by the Codes office).

List below any OTHER variances, Special Permits requested
(Section of the Zoning Law) (Description)

Minimum open space % +/- 78.78% where 85% required

Please state below all reasons to support your appeal or application. Attach other sheets as needed to support your appeal/application

Dated 10/06/23

Signature of Applicant/Appellant

James B. Goble *KXFB*

ZONING DISTRICT = B

		Required	Existing	PROPOSED	Pre-Exist Non-Conforming	VARIANCE
Residential Minimum Lot Width	Applicant					
	Codes Office	65"	195.75'	195.75'		-
Minimum Open Space %	Applicant					
	Codes Office	85%		76.89%		-8.11%
Minimum Front Yard Setback SOUTH	Applicant					
	Codes Office	BUILD TO LINE.		17.5'		-
Minimum Left Side Yard Setback WEST	Applicant					
	Codes Office	10		15.5'		-
Minimum Right Side Yard Setback EAST	Applicant					
	Codes Office	10		69 FT		-
Minimum Both Side Yards Setback	Applicant					
	Codes Office	20		84.5'		-
Minimum Rear Yard Setback NORTH	Applicant					
	Codes Office	25'		22.5'		-2.5'
Max Width of Structure (% lot width)	Applicant					
	Codes Office	80%		45.8%		-
Max Stories of Building	Applicant					
	Codes Office	2.5		2		-
Max Building Height	Applicant					
	Codes Office	440'		35.5'		-
Minimum Livable Floor Area	Applicant					
	Codes Office	1200sf		>1200sf		-

Page 3A Tax Map # 003-06-05

Property Address

108 SINCLAIR

Short Environmental Assessment Form

Part I - Project Information

Instructions for Completing

Part I - Project Information The applicant or project sponsor is responsible for the completion of Part I. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part I based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part I. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part I - Project and Sponsor Information

Name of Action or Project:		New Residence																
Project Location (describe, and attach a location map):																		
408 Sinclair Street, Sec 4 Lt 30 Skaneateles, NY 13152																		
Brief Description of Proposed Action:																		
Construction of new residence on vacant lot																		
Name of Applicant or Sponsor:		Kristy and Jason Boyles																
Address:		408 Sinclair Street, Sec 4 Lt 30 Skaneateles, NY 13152																
City/PO:		Skaneateles																
State:		NY																
Zip Code:		13152																
Telephone:		E-Mail: kristyboyles@me.com																
<p>1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?</p> <p>If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">NO</td> <td style="width: 50%; text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>				NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>											
NO	YES																	
<input checked="" type="checkbox"/>	<input type="checkbox"/>																	
<p>2. Does the proposed action require a permit, approval or funding from any other government Agency?</p> <p>If Yes, list agency(s) name and permit or approval:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">NO</td> <td style="width: 50%; text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> </tr> </table>				NO	YES	<input type="checkbox"/>	<input checked="" type="checkbox"/>											
NO	YES																	
<input type="checkbox"/>	<input checked="" type="checkbox"/>																	
<p>3. Total acreage of the site of the proposed action? 0.567 acres</p> <p>b. Total acreage to be physically disturbed? 0.113 acres</p> <p>c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.567 acres</p>																		
<p>4. Check all land uses that occur on, are adjoining or near the proposed action:</p> <table style="width: 100%;"> <tr> <td><input type="checkbox"/> Urban</td> <td><input type="checkbox"/> Rural (non-agriculture)</td> <td><input type="checkbox"/> Industrial</td> <td><input type="checkbox"/> Commercial</td> <td><input checked="" type="checkbox"/> Residential (suburban)</td> </tr> <tr> <td><input type="checkbox"/> Forest</td> <td><input type="checkbox"/> Agricultural</td> <td><input type="checkbox"/> Aquatic</td> <td><input type="checkbox"/> Other(Specify):</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Parkland</td> <td></td> <td></td> <td></td> <td></td> </tr> </table>				<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential (suburban)	<input type="checkbox"/> Forest	<input type="checkbox"/> Agricultural	<input type="checkbox"/> Aquatic	<input type="checkbox"/> Other(Specify):		<input type="checkbox"/> Parkland				
<input type="checkbox"/> Urban	<input type="checkbox"/> Rural (non-agriculture)	<input type="checkbox"/> Industrial	<input type="checkbox"/> Commercial	<input checked="" type="checkbox"/> Residential (suburban)														
<input type="checkbox"/> Forest	<input type="checkbox"/> Agricultural	<input type="checkbox"/> Aquatic	<input type="checkbox"/> Other(Specify):															
<input type="checkbox"/> Parkland																		
<p>5. <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):</p> <p><input type="checkbox"/> Parkland</p>																		

5. Is the proposed action,		NO	YES	N/A
a.	<u>A permitted use under the zoning regulations?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b.	<u>Consistent with the adopted comprehensive plan?</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. <u>Is the proposed action consistent with the predominant character of the existing built or natural landscape?</u>		<input type="checkbox"/>	NO	YES <input checked="" type="checkbox"/>
7. <u>Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</u>		<input type="checkbox"/>	NO	YES <input type="checkbox"/>
If Yes, identify: _____				
8. a. <u>Will the proposed action result in a substantial increase in traffic above present levels?</u>		NO	<input checked="" type="checkbox"/>	YES <input type="checkbox"/>
b. Are public transportation services available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. <u>Does the proposed action meet or exceed the state energy code requirements?</u>		NO	YES	<input type="checkbox"/>
If the proposed action will exceed requirements, describe design features and technologies: _____ _____				
10. <u>Will the proposed action connect to an existing public/private water supply?</u>		NO	YES	<input type="checkbox"/>
If No, describe method for providing potable water: _____ _____				
11. <u>Will the proposed action connect to existing wastewater utilities?</u>		NO	YES	<input checked="" type="checkbox"/>
If No, describe method for providing wastewater treatment: _____ _____				
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		NO	YES	<input type="checkbox"/>
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. <u>Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</u>		NO	YES	<input type="checkbox"/>
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____				

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:
- Shoreline Forest Agricultural/grasslands Early mid-successional
 Wetland Urban Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Is the project site located in the 100-year flood plain?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,

- a. Will storm water discharges flow to adjacent properties?
 NO YES
- b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:
 NO YES

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE

Applicant/sponsor/name: Jason Boyles Kristy Boyles

Date: 10/06/23

Signature: Jason Boyles Title: Kristy Boyles

Agency Use Only (If applicable)
 Project: _____
 Date: _____

Short Environmental Assessment Form Part 2 - Impact Assessment

Part 2 is to be completed by the Lead Agency

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Agency Use Only (If applicable)
Project: _____
Date: _____

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency	Date
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT FORM

SPACE Architectural Studio, P.C.

3 Fennell Street, Suite #2, Skaneateles, N.Y. 13152
p: (315) 685-0510 | e: info@spacearchstudio.com | www.spacearchstudio.com

Project Narrative

Jason and Kristy Boyles

Project Location: 108 Sinclair Street, Skaneateles, N.Y. 13152

Tax Map No.: 003-06-05.0

Village Zoning District: B

SPACE Architectural Studio project #: 2022-78

Date: 12 October 2023

Jason and Kristy Boyles are proposing to build their forever home at 108 Sinclair Street, which is part of section 4 of the Parkside subdivision. Kristy is a 2001 Skaneateles graduate who is returning with her husband and their three children. The parcel is one of the two remaining homes to be built in the subdivision. It occupies the northeast corner of Orchard St & Sinclair St.

The Boyles are proposing their vision for the property. We have reviewed the Village of Skaneateles design guidelines and paid careful attention to many critical details that bring this home to life. It is a blend of a style they like and the look that exists throughout the Village.

All stormwater drains into the catch basin located at the eastern side of their lot.

The variances requested by the Boyles in this proposal:

- Minimum Open Space: +/- ~~78.78%~~ ⁵² where 85% are required, a variance of +/- ~~6.82%~~ ³² is requested.

In response to whether an undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance – the design of this home aligns with the overall aesthetic of the neighborhood and with the village design standards. An occupied property on this lot would be a positive change to the neighborhood and it is in line with the density of development found not only in Parkside but throughout the Village.

To whether the benefit sought by the applicant can be achieved by some method, feasible for the applicant to pursue, other than an area variance. We believe that the size of this residence is akin to the surrounding neighborhood properties and their open space calculations as per our own study done for the neighborhood.

To whether the requested area variance is substantial – while the requested variance is self-created, we believe it is not substantial for this property.

SPACE Architectural Studio, P.C.

3 Fennell Street, Suite #2, Skaneateles, N.Y. 13152
p: (315) 695-0510 | e: info@spacearchstudio.com | www.spacearchstudio.com

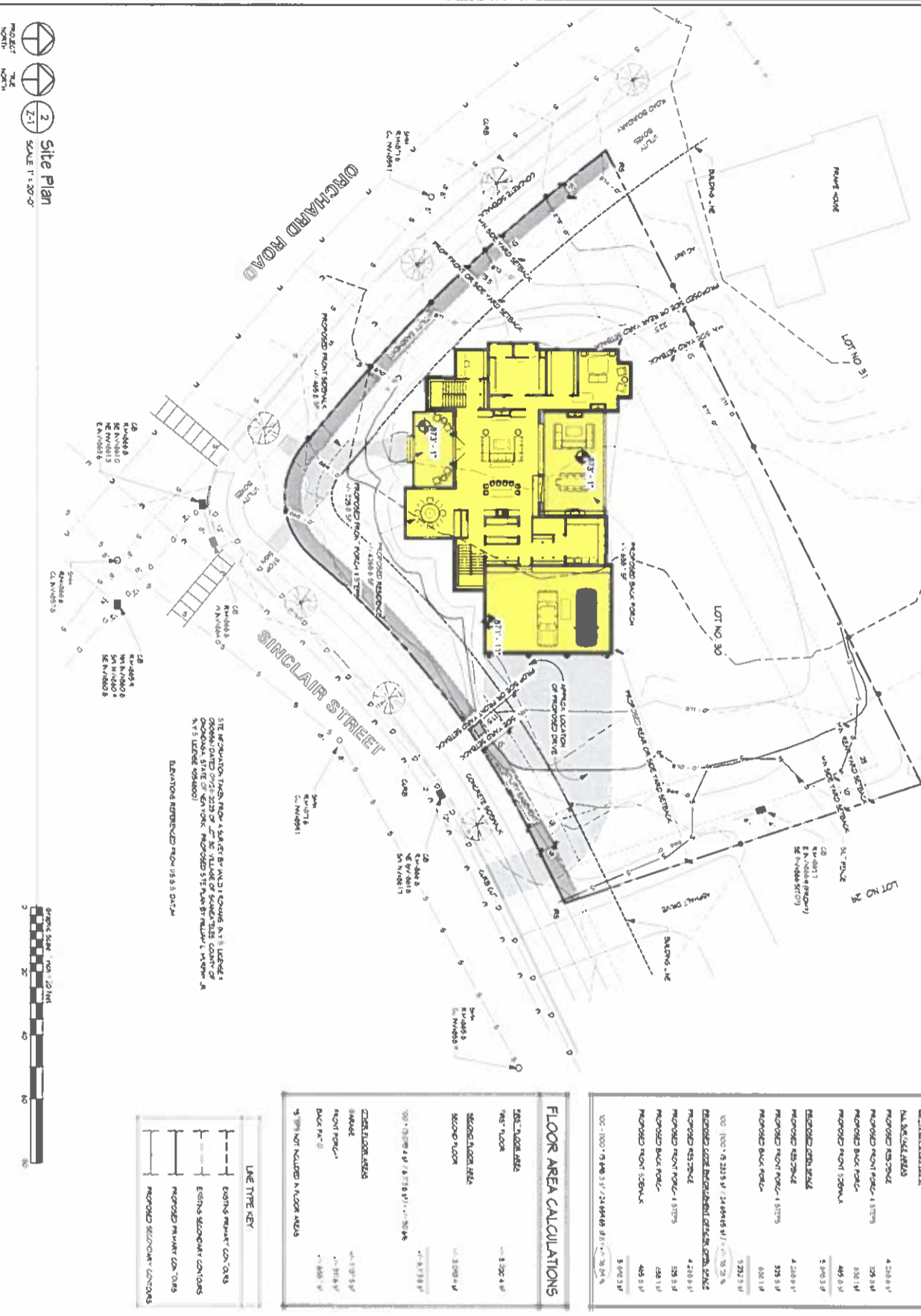
To whether the proposed variance will have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district – we believe the variance requested will not have an adverse effect on the neighborhood as the size of the variance is the same or less and other approved variances within the neighborhood. The proposed design of this residence is within the design standards of the village and fits with the aesthetic of the Parkside Division neighborhood, and it will be nice to put this neighborhood development behind us.

Thank you for considering our proposal.

DENSITY CONTROL SCHEDULE
VILLAGE OF SKANEATELES B DISTRICT

	REQD./ALLOWED	EXISTING	ORIGINALLY PROPOSED	CODE ENFORCEMENT OFFICER PROPOSED	DIFFERENCE	ORIGINALLY REQD. VARIANCE	CODE ENFORCEMENT OFFICER REQD. VARIANCE
MINIMUM LOT AREA	22,000 SF	1/2- 24,694.65 SF	1/2- 24,694.65 SF	1/2- 24,694.65 SF	-	-	-
MINIMUM LOT WIDTH	65 FT	1/2- 105.75 FT	1/2- 105.75 FT	1/2- 105.75 FT	-	-	-
MINIMUM OPEN SPACE	65%	-	1/2- 78.75%	1/2- 78.75%	-	1/2- 6.22%	1/2- 9.11%
MINIMUM FRONT YARD SETBACK	BLVD TO LINE	-	1/2- 15.5 FT	1/2- 15.5 FT	-	-	-
MINIMUM SIDE YARD SETBACK WEST	10 FT	-	1/2- 22.5 FT	1/2- 15.5 FT	-	-	-
MINIMUM SIDE YARD SETBACK EAST	10 FT	-	1/2- 15.5 FT	1/2- 64 FT	-	-	-
MINIMUM SIDE YARD SETBACK TOTAL	20 FT	-	1/2- 40 FT	1/2- 84.5 FT	-	-	-
MINIMUM REAR YARD SETBACK	25 FT	-	1/2- 64 FT	1/2- 22.5 FT	-	-	1/2- 2.5 FT
MINIMUM WIDTH OF STRUCTURE (% OF LOT WIDTH)	60%	-	1/2- 48.8%	1/2- 48.8%	-	-	-
MINIMUM BUILDING HEIGHT	40 FT, 2.5 STOREYS*	-	1/2- 27.1 FT	1/2- 35.5 FT	-	-	-
MINIMUM LIVABLE FLOOR AREA	1,200 SF	-	1/2- 6,119.8 SF	1/2- 6,119.8 SF	-	-	-

* PER C-1 - PRE-EXISTING NON-CONFORMING
 * PER HEIGHT DEFINITION PER § 205-4 DEFINITIONS
 HEIGHT OF BUILDING OR STRUCTURE
 The vertical distance measured from the lowest grade point along the wall of a building or adjacent to the side of a structure to the highest point of such building or structure. (Amended 4-27-2023 by LL No 5-2023)



OPEN SPACE CALCULATIONS

LOT AREA 24,694.65 SF	4,208.8 SF
MINIMUM OPEN SPACE	329.5 SF
PROPOSED FRONT YARD - 15.5 FT	831.1 SF
PROPOSED BACK YARD - 15.5 FT	442.5 SF
PROPOSED FRONT YARD - 15.5 FT	5,490.3 SF
PROPOSED BACK YARD - 15.5 FT	4,208.8 SF
PROPOSED FRONT YARD - 15.5 FT	929.5 SF
PROPOSED BACK YARD - 15.5 FT	638.1 SF
PROPOSED FRONT YARD - 15.5 FT	3,262.3 SF
PROPOSED BACK YARD - 15.5 FT	3,262.3 SF
TOTAL OPEN SPACE	11,000.1 SF (44.54%)

FLOOR AREA CALCULATIONS

2ND FLOOR AREA	3,502.4 SF
1ST FLOOR AREA	3,502.4 SF
2ND FLOOR AREA	11,207.4 SF
1ST FLOOR AREA	11,207.4 SF
TOTAL FLOOR AREA	22,414.8 SF



Revisions

No.	Description	Date

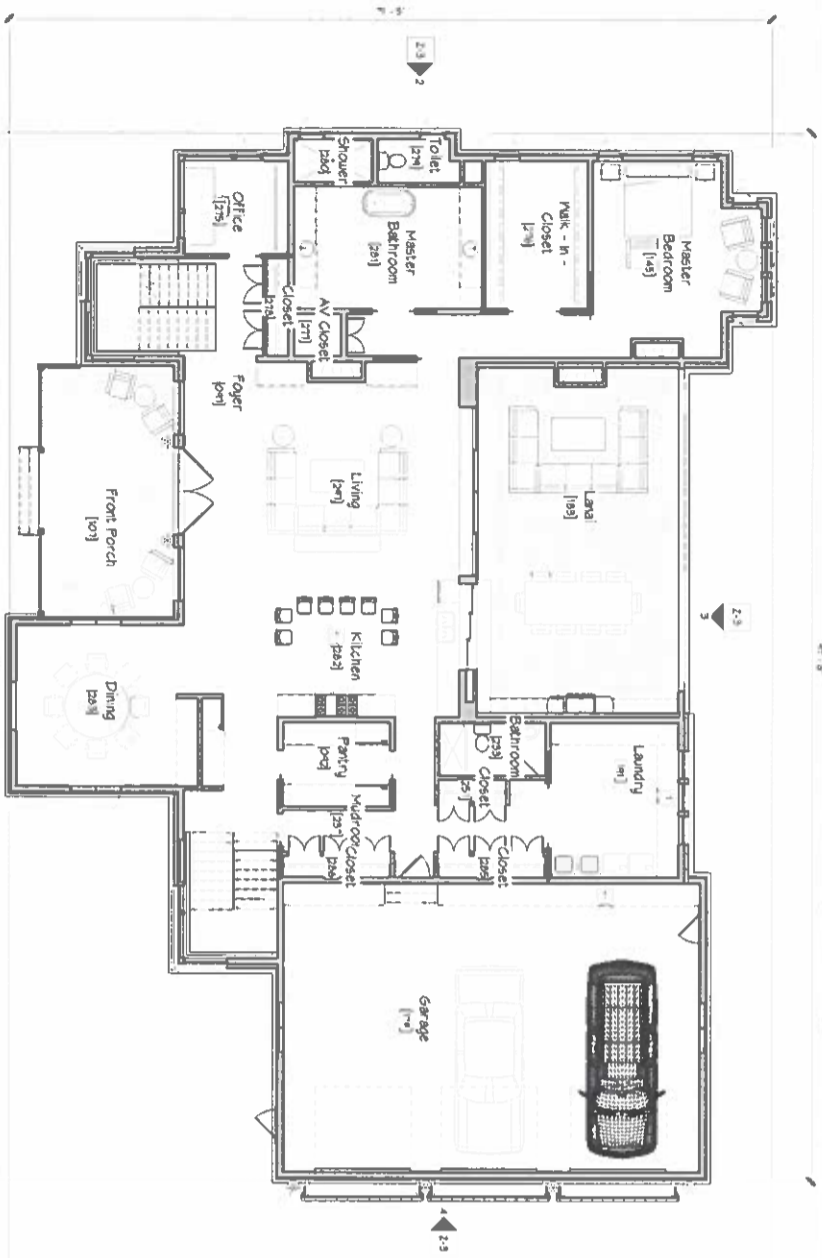
Project Name: 2022-23
Date: 09/23/23
Created By: KLS
Checked By: KLS

ZONING - Site Plan
Z-1

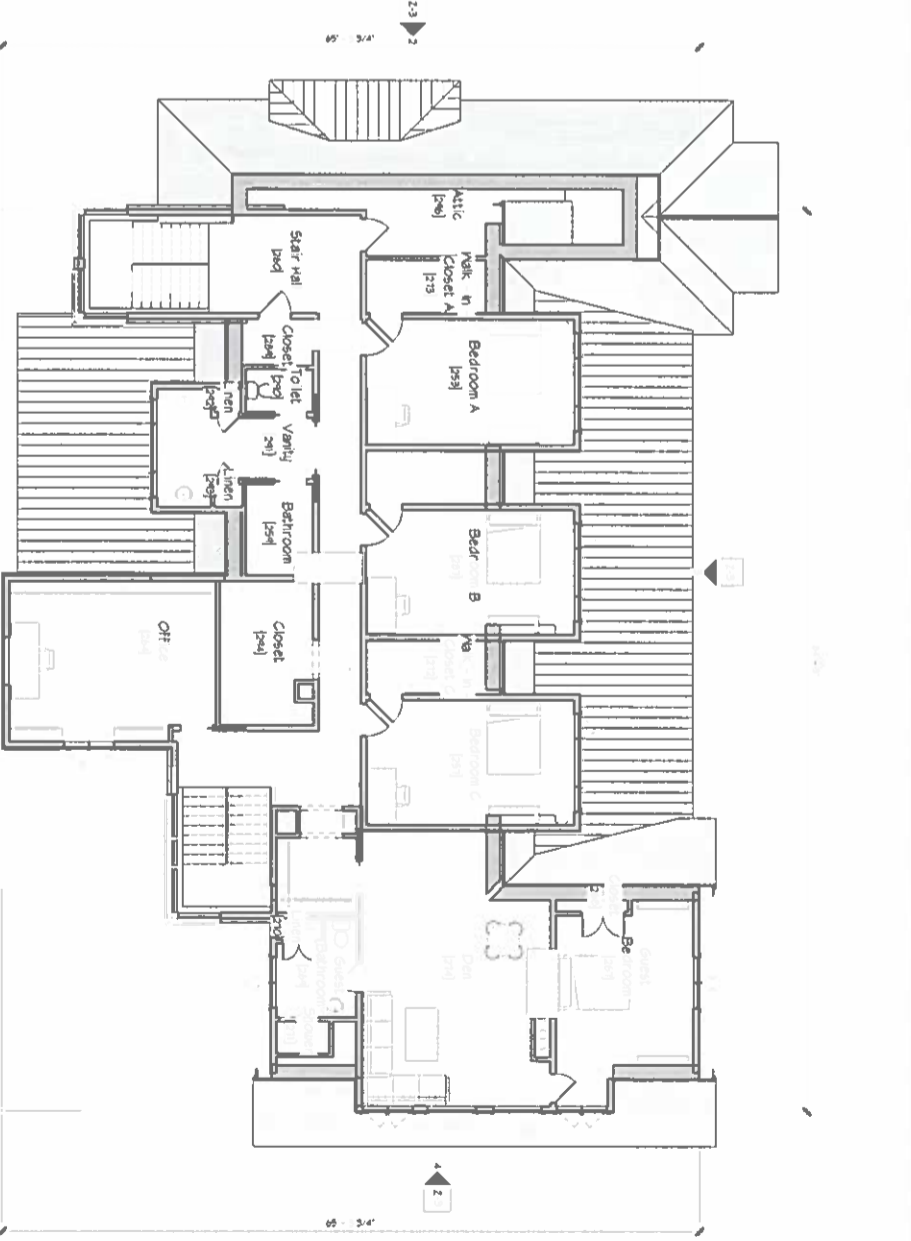
ZONING SUBMISSION 10.26.2023

SPACE Architectural Studio, P.C.
 3 Fennell Street, Suite #2 Skaneateles, N.Y. 13152
 Phone: (315) 685-0540 Email: admin@spacearchstudio.com

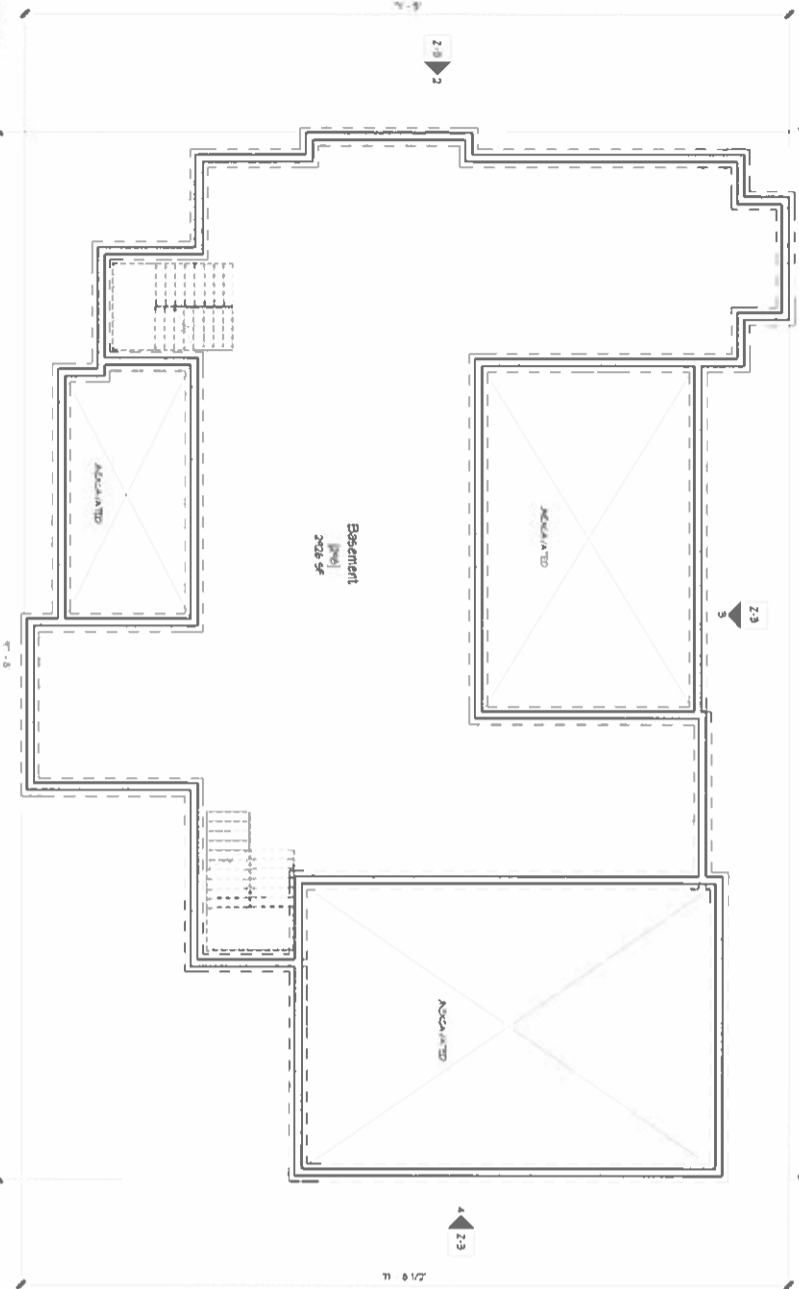
NEW RESIDENCE
 for
KRISTY & JASON BOYLES
 108 Sinclair Street, Sec 4 Lt 30
 Skaneateles, NY 13152



1 ZONING - First Floor Plan
SCALE UP 1/4"



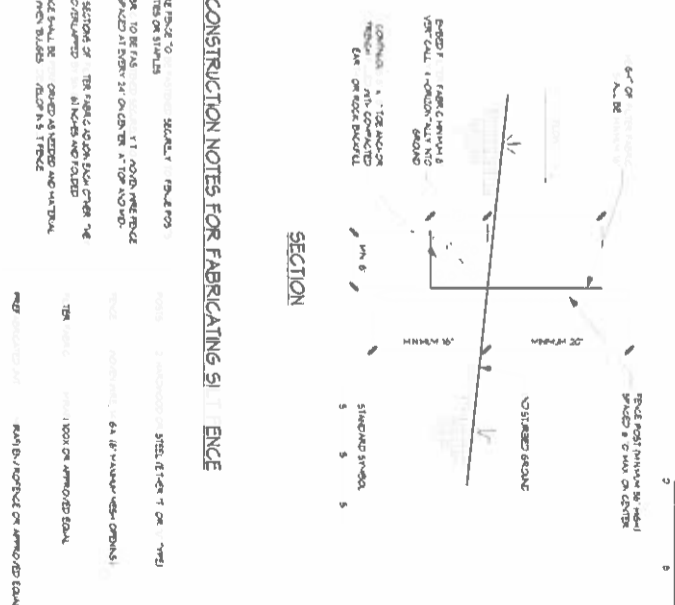
2 ZONING - Second Floor Plan
SCALE UP 1/4"



3 ZONING - Basement Floor Plan
SCALE UP 1/4"



4 SILT FENCE DETAIL
SCALE

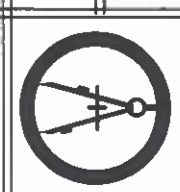


ZONING SUBMISSION 10.26.2023

Project Name	2022-7B	Drawn by	KLS
Date	08/29/23	Checked by	
Scale	As Indicated	Checker	

ZONING - Floor Plans

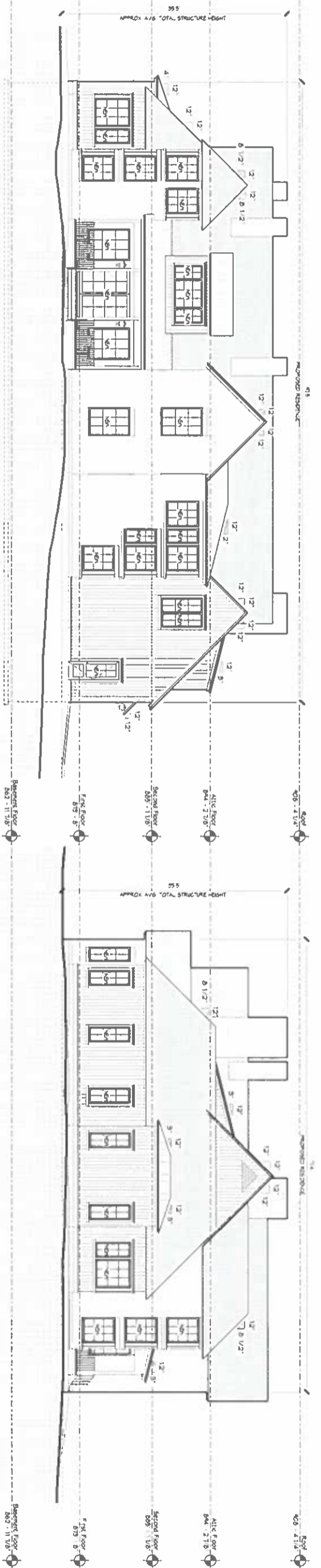
Z-2



Revisions		
No.	Description	Date

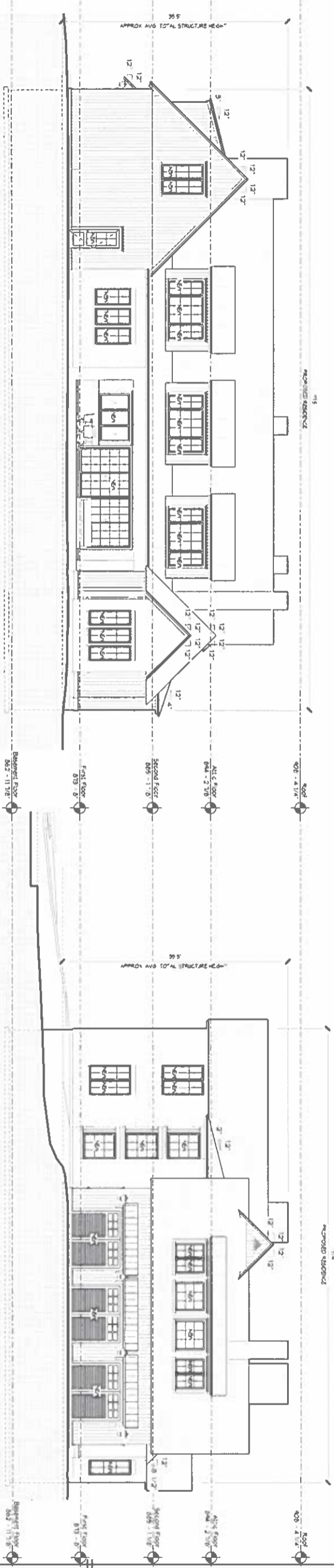
NEW RESIDENCE
For
KRISTY & JASON BOYLES
108 Sinclair Street, Sec 4 Lt 30
Skaneateles, NY 13152

SPACE Architectural Studio, P.C.
3 Fennell Street, Suite #2 Skaneateles, N.Y. 13152
Phone: (315) 685-0540 Email: admin@spacearchstudio.com



1 ZONING - South Elevation
SCALE 1/8" = 1'-0"

2 ZONING - West Elevation
SCALE 1/8" = 1'-0"



3 ZONING - North Elevation
SCALE 1/8" = 1'-0"

4 ZONING - East Elevation
SCALE 1/8" = 1'-0"

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL ORDINANCES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.

Project Name	2022-18	Drawn By	NLS
Client	09/23/23	Checked By	Checker
Scale	1/8" = 1'-0"		

ZONING - Elevations

ZONING SUBMISSION 10.26.2023

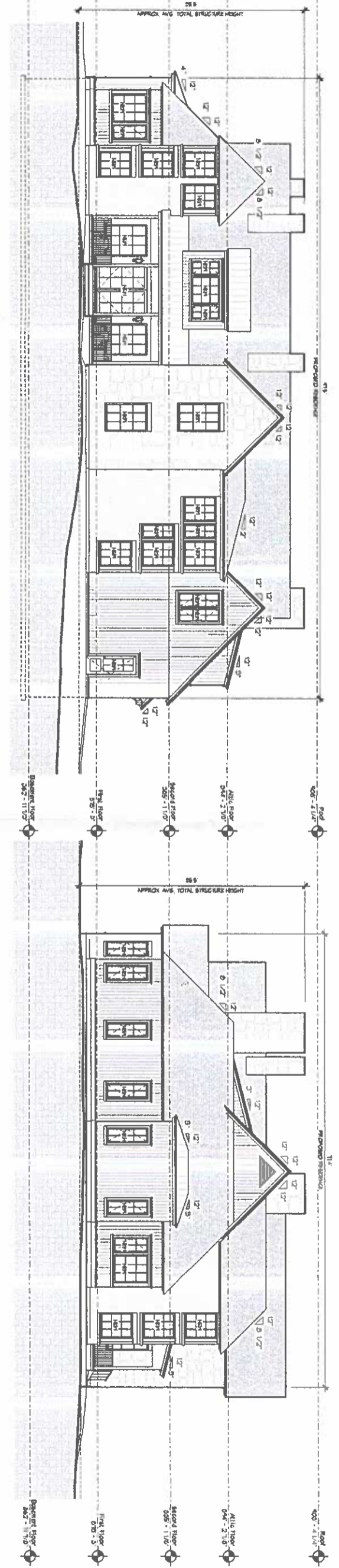
Z-3

No.	Description	Date

NEW RESIDENCE
for
KRISTY & JASON BOYLES
108 Sinclair Street, Sec 4 Lt 30
Skanateles, NY 13152

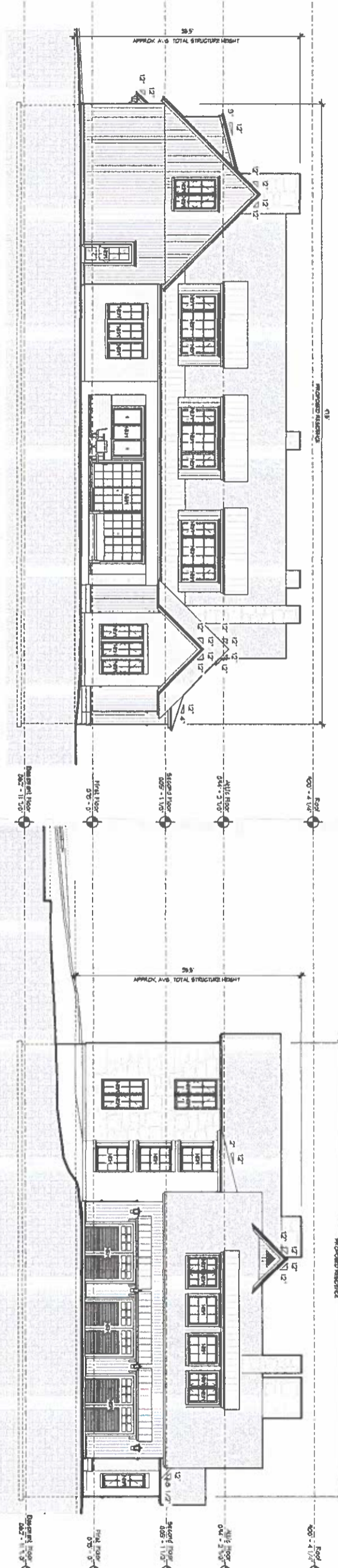
SPACE Architectural Studio, P.C.
3 Fennell Street, Suite #2 Skanateles, N.Y. 13152
Phone: (315) 685-0540 Email: admin@spacearchstudio.com





1 ZONING - South Elevation
SCALE 1/8" = 1'-0"

2 ZONING - West Elevation
SCALE 1/8" = 1'-0"



3 ZONING - North Elevation
SCALE 1/8" = 1'-0"

4 ZONING - East Elevation
SCALE 1/8" = 1'-0"

Revisions

No.	Description	Date

NEW RESIDENCE
for
KRISTY & JASON BOYLES
103 Sinclair Street, Sec 4 Lt 30
Skaneateles, NY 13152

SPACE Architectural Studio, P.C.
3 Fennell Street, Suite #2 Skaneateles, N.Y. 13152
Phone: (315) 685-0540 Email: admin@spacearchstudio.com

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETION OF ALL DIMENSIONS AND PROJECTIONS AND THE PRESENCE OF THE ARCHITECT'S AND ENGINEER'S SEAL SHALL BE NECESSARY FOR THE SET DOCUMENTS.

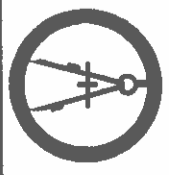
CONTRACTOR'S NOTE: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETION OF ALL DIMENSIONS AND PROJECTIONS AND THE PRESENCE OF THE ARCHITECT'S AND ENGINEER'S SEAL SHALL BE NECESSARY FOR THE SET DOCUMENTS.

Sheet Number	Date	Drawn by	Checked by
2023-18	08/23/23	KLS	KLS
044	1/8" = 1'-0"		

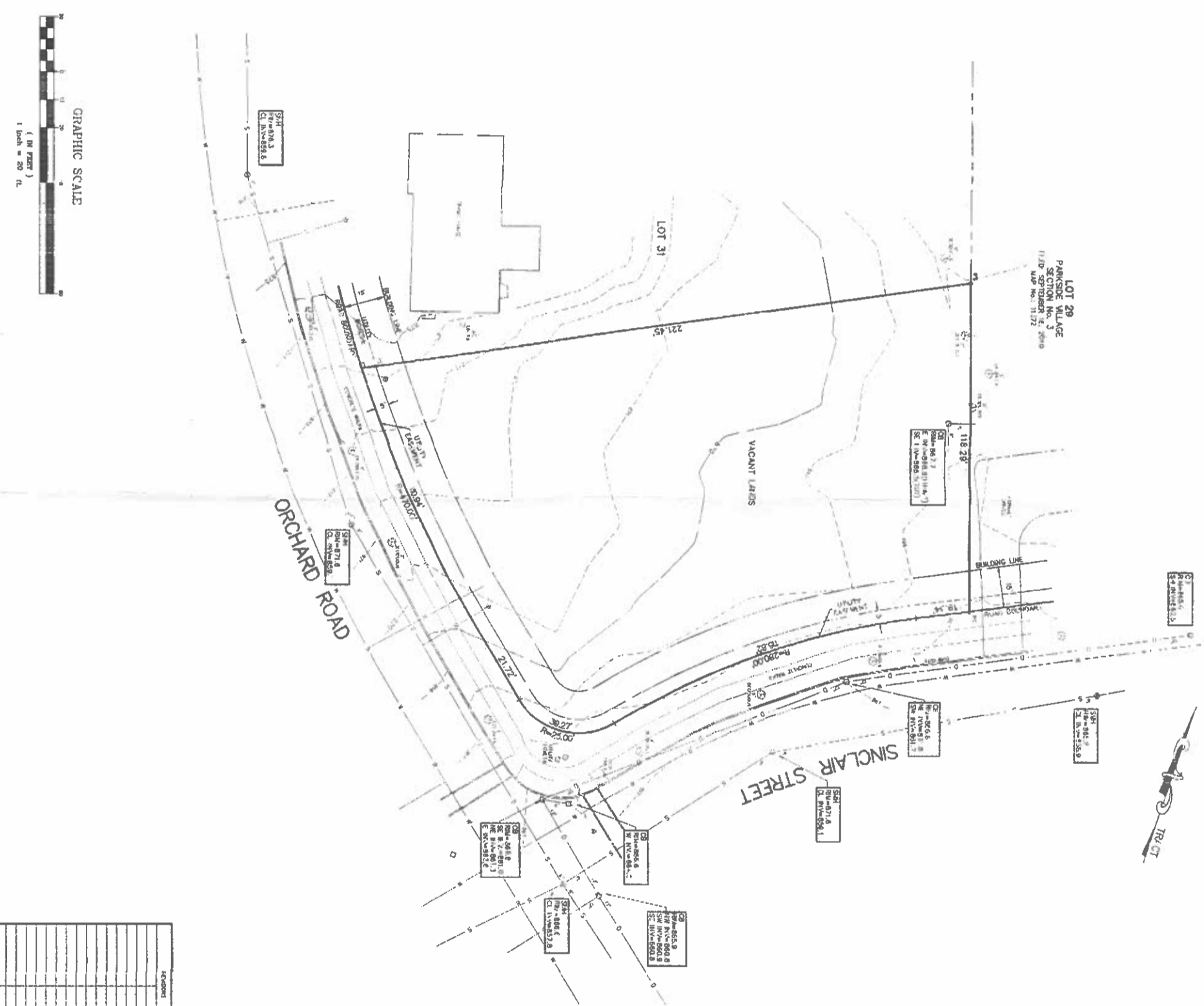
ZONING - Elevations

Z-3

ZONING SUBMISSION 10 25 2023



- LEGEND:**
- Indicates utility pole, conductor & overhead lines
 - Indicates underground utility pole, conductor & overhead lines
 - Indicates storm sewer, catch basin & manhole
 - Indicates sanitary sewer, sewer vent & manhole
 - Indicates underground electric line & manhole
 - Indicates underground telephone cable & box
 - Indicates water main, water valve & hydrant
 - Indicates gas main, gas valve & gas line meter
 - Indicates storm culvert
 - Indicates manhole
 - Indicates grease trap
 - Indicates boundary line
 - Indicates adjacent parcel line
 - Indicates easement line
 - Indicates centerline road



NOTES:

Total area: 0.566 acres (24,699 sq. ft.)
 Present Zone: Residential
 Elevation referred to: NAVD 88
 Location of underground utilities taken by field measurement where practicable, otherwise taken from various city records and are approximate only.
 The premises shown hereon is with Zone "X" (Areas determined to be Category I or II) as shown on the map of the Federal Emergency Management Agency National Flood Hazard Insurance Program. Flood Hazard Insurance Agency No. 3008702279.
 Effective date: November 4, 2016.
 Tax Map No. 3-105-05

TRACT MAP:
 BY: Ian J. & Regina Land Surveying, P.C.
 FILED: October 21, 2023
 MAP No: 11757

GRAPHIC SCALE
 (IN FEET)
 1 Inch = 200 Ft.

TORONTO PUBLIC SURVEY
 LOT No. 30
PARKSIDE VILLAGE
 SECTION No. 4
 PART OF FARM LOT No. 27
 VILLAGE OF SKANEATELES
 TOWN OF SKANEATELES
 ONONDAGA COUNTY, NEW YORK

LAND SURVEYORS, P.C.
 1100 WEST 12TH STREET
 SUITE 200
 ROCHESTER, NY 14626
 PHONE: (716) 425-2900
 FAX: (716) 425-2901
 EMAIL: info@landsurveyors.com

DATE: SEPTEMBER 26, 2023
 SCALE: 1" = 20'
 SHEET No. 15/18

