

Village of Skaneateles
Zoning Board of Appeals Meeting
Wednesday May 27, 2020

Pursuant to Executive Order 202.1, this meeting will be conducted by video conference call. The public may attend any meeting but may comment only during public hearings. The call-in number is 315-313-6263. When prompted, please enter the conference ID number: 101 118 568#. Prior to the meeting, those wishing to speak during a public hearing may make a request to be called upon by sending an email to CTB@villageofskaneateles.com. Please mention ZBA and the matter you wish to comment upon in the subject line. Comments can be submitted in writing to ZBA, Village of Skaneateles, 26 Fennell St., Skaneateles, NY 13152. Requests to comment during the meeting and any written comments sent to ZBA by mail must be received by 4:30 pm on the day of the hearing.

[Link to ZBA Meeting 05.27.2020](#)

AGENDA

7:30 pm Public Hearing in the matter of the Area Variance application by **Polly Davis** to vary the strict application of Section 225-A5 Density Control Schedule for front yard set-back; side yard set-back, left; both side yards combined; Minimum open area; Minimum lot area; and Percentage of structure width/lot width; and Section 225-69D Nonconforming Buildings, Structures and Uses, Extension or Expansion; to construct a second story addition with a new roof design, extend the existing garage, and construct a new front porch at the property addressed as **14 Hannum Street** in the Village of Skaneateles.

7:32 pm Public Hearing in the matter of the Area Variance application of **Adam Weitsman** to vary the strict application of Section 225-A5 Density Control Schedule for Front yard set-back, Side yard set-back, right, Rear yard set-back, and Minimum open area; Section 225-14C(2)(c) for front yard driveway/parking; Section 225-14C(3) Fences and Walls; Section 225-14C(5)(d) Accessory Buildings and Uses; Section 225-20 D for development within 50 feet of Skaneateles Lake; 225-58B(8)(a) and (b) for front yard driveway/parking; to merge two lots, demolish an existing single-family residential dwelling unit and to construct a

swimming pool, hot tub, 89 by 48 foot pool deck with storage and mechanical space below, plus appurtenances (temple w/ roof, trellis and fence), driveways, walkways and retaining walls at the properties addressed as **61 West Lake Street and 45 West Lake Street** in the Village of Skaneateles. ***This hearing was continued to the regularly scheduled ZBA meeting on May 27, 2020.***

7:35 pm Such other business as may be before the Board.

Note: The next regularly scheduled meeting of the Zoning Board of Appeals is June 24, 2020 at 7:30 pm.

Village of Skaneateles Land Use Boards (Planning, Zoning) Conduct of teleconference meetings per NYS Executive Order 202.1

For the immediate future, the Village of Skaneateles will conduct Planning Board and Zoning Board of Appeals meetings via video teleconferencing. The public is invited to attend these meetings by computer or telephone, and in the case of a Public Hearing comment period, to participate by telephone as well.

Please visit the specific meeting agenda posted on the Village web site www.villageofskaneateles.com for instructions on how to connect with these meetings.

In the interests of maintaining good order and to allow for efficient meetings, the following procedural rules will be followed.

Public Meetings

The public has the right to observe the conduct of all Public Meetings while the boards conduct their business.

The agenda for each meeting will be posted on the Village web site www.villageofskaneateles.com under "Agendas" 3 days before each meeting.

The public may submit comments before 4:30 pm on the meeting day in writing or by email to ctb@villageofskaneateles.com. Anonymous comments will not be accepted.

Public Hearings

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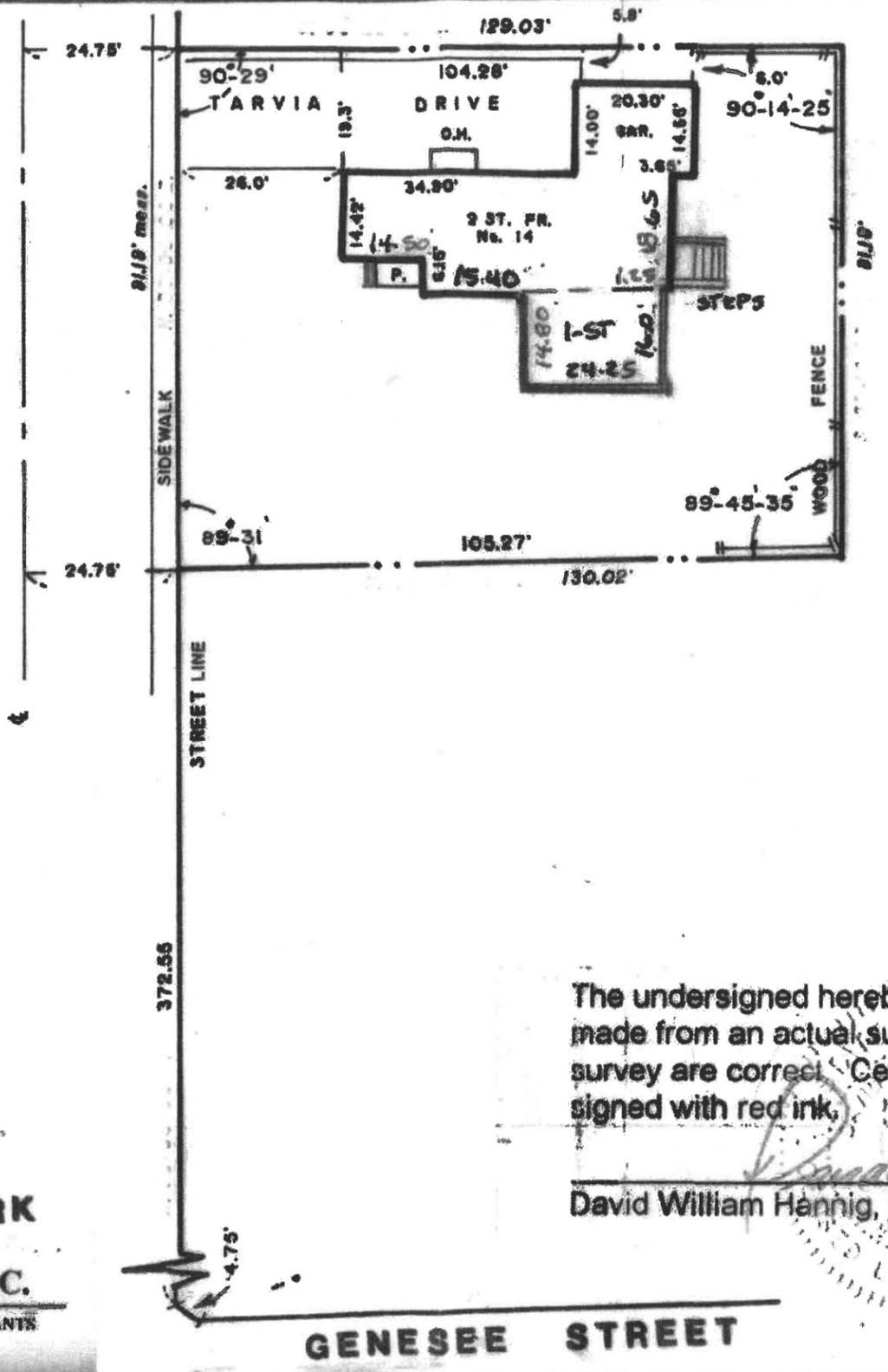
The public may submit comments before 4:30 pm on the meeting day in writing or by email to ctb@villageofskaneateles.com. Anonymous comments will not be accepted.

There will be a public comment period during which you may speak. To be called upon by the board, send an email before 4:30 pm on the meeting day to ctb@villageofskaneateles.com with your name, address, the phone number from which you will be calling in to the meeting and the agenda item on which you wish to comment. You will be called upon during the meeting. Please observe a 2 minute time limit.

You will be muted in order to limit noise and distractions for the Board members.

Any comments made outside of a Public Hearing public comment period will not be heard by Board Members or become a part of the record.

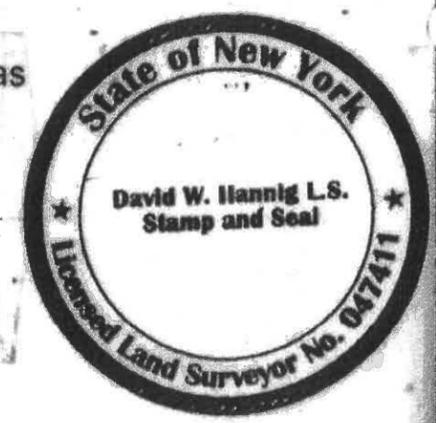
HANNUM STREET



LOT 11, BLOCK 21
VILLAGE OF SKANEATELES
ONONDAGA COUNTY, NEW YORK

The undersigned hereby certifies that this map was made from an actual survey, and both map and survey are correct. Certification is void unless signed with red ink.

David William Hannig, P.L.S. Lic. No. 47411



D. W. HANNIG L. S., P.C.



SCALE 1"=30'
 APRIL 17, 1998

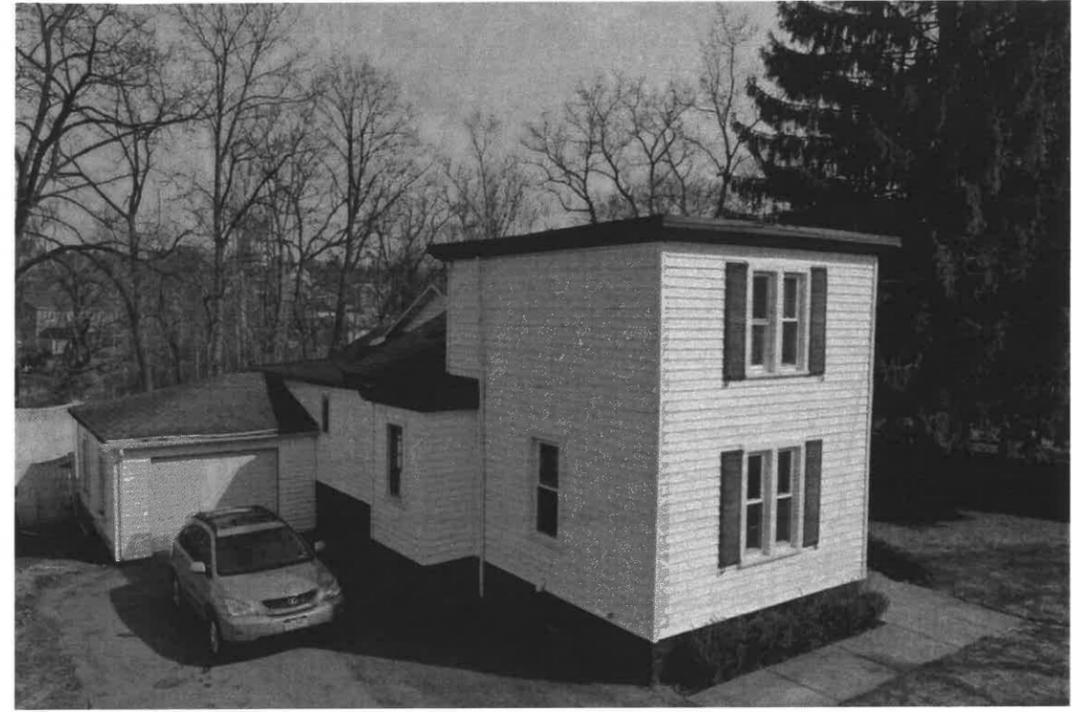
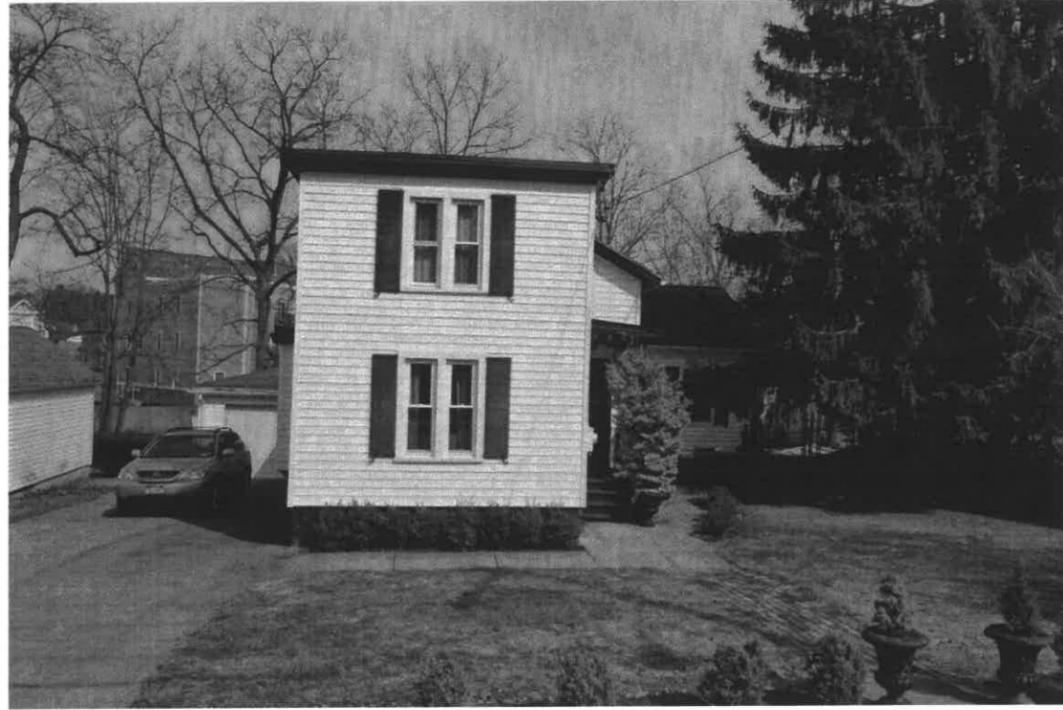
REV'D 6/10/98
 Rev'd 4/17/06

Rev'd 9/16/12
 Rev'd 4/10/20

SURVEYORS • PLANNERS • CONSULTANTS
 THE MARKET PLACE, BURNING WOOD
 MANHATTAN, NEW YORK 10044
 PHONE: (315) 682-5225 • FAX: (315) 682-7774

GENESEE STREET

J986396 (J934754)



RAMSGARD
 architects - planners - designers
 61 East Genesee Street
 Skaneateles, New York 13152
 315.638.0516 | ramsgard.com



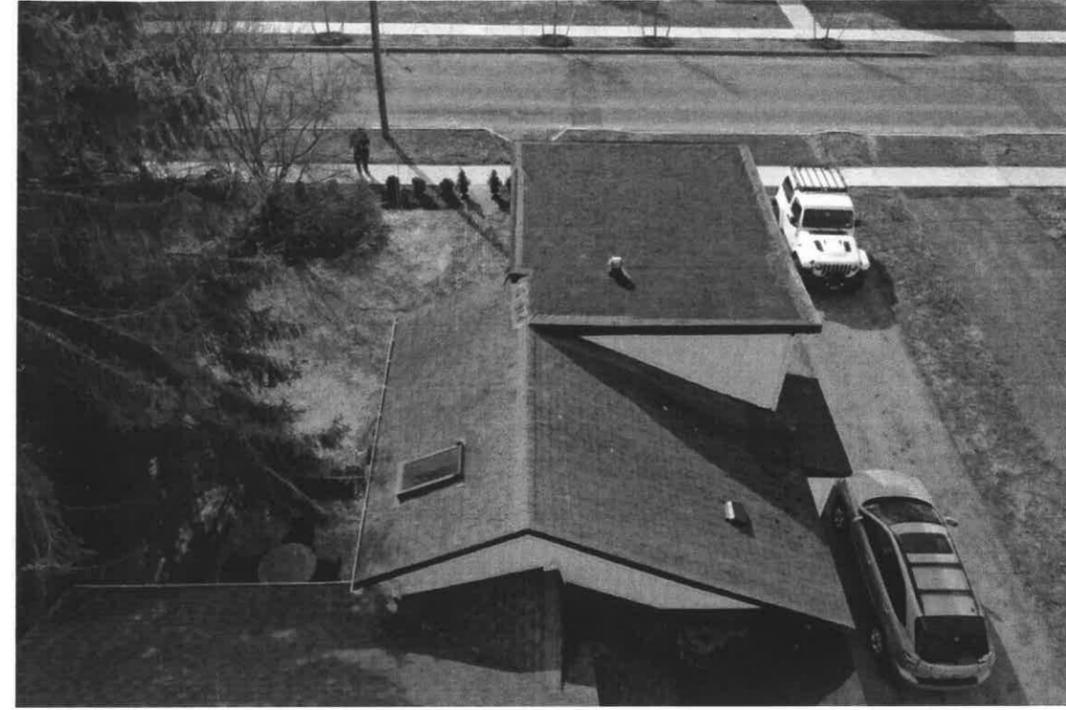
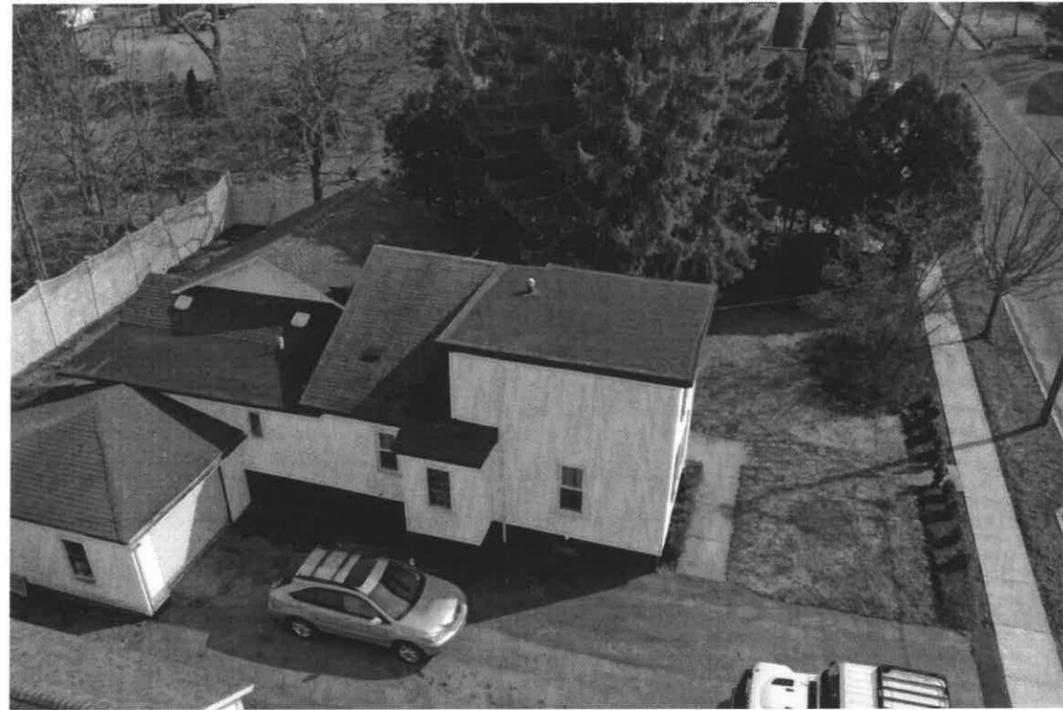
Polly Davis
 Addition/Renovation
 14 Hannum St.
 Skaneateles, NY 13152

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
 ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED. COPYRIGHT
 PART 68101 OF TITLE 18 OF THE EDUCATION LAW OF NEW YORK PROHIBITS ANY AND ALL ALTERATIONS TO THIS DRAWING OR DOCUMENT BY ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT. ANY SUCH ALTERATIONS SHALL BE NOTED, SEALED, AND SIGNED BY THE ALTERING ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 68101.

REVISIONS

NO.	REVISION	DATE

Existing Site Photos
 PROJ# 1914
 DRAWN BY: AGD
 SCALE
 DATE 4/15/2020



RAMSGARD
 architects - planners - designers
 63 West Genesee Street
 Skaneateles, New York 13152
 815.685.0253 | ramsgard.com



Polly Davis
 Addition/Renovation
 14 Hannum St.
 Skaneateles, NY 13152

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 ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND SHALL BE USED ONLY ON THE JOB DESIGNATED COPYRIGHT.
 PART 645(b) OF TITLE VII OF THE EDUCATION LAW OF NEW YORK PROHIBITS ANY AND ALL ALTERATIONS TO THIS DRAWING OR DOCUMENT BY ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT. ANY SUCH ALTERATIONS SHALL BE NOTED, SEALED, AND SIGNED BY THE ALTERING ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 645(b).

REVISIONS

NO.	REVISION	DATE

Existing Site Photos
 PROJ. NO. 1914
 DRAWN BY: ASD
 SCALE:
 DATE 4/15/2020

VILLAGE OF SKANEATELES

26 Fennell St

Skaneateles, NY 13152

315-685-2118

Fax: 315-685-0730

Email: codes@villageofskaneateles.com

11/16jc

Application for a Building/Zoning Permit (page 1 of 2)

Date of Application 4/15/2020 Permit Date and Number

Name of Applicant Polly Davis

Address of Applicant 14 Hannum St, Skaneateles NY 13152

Applicant's Email polly@taurususa.com Contact # (315) 559-9999

Address of worksite 14 Hannum St, Skaneateles NY 13152

Name of Property Owner (if different from applicant)

Property Owner Address

Property Owner Email Contact #

Type of Work Proposed:

New Structure Addition X Alteration X Swimming Pool Repair X

Fence/Wall Paved Surface Other

Square Footage of new work Accurate Project Cost \$120,000.00

Describe the work proposed:

The owner of 14 Hannum St. would like to make improvements to the property in the form of a building addition/renovation. The addition would consist of a new second floor/roof design, an extension of the existing garage and a new front porch.

Zoning District (circle one): A-1 A-2 A-3 A-4 B C D PL

Tax Map Number 006.-06-28.0 Square Footage of Lot +/-8,500 sf

Existing use of lot single family residential Proposed use of lot single family residential

STRUCTURE INFORMATION:

Single Family X Two Family Multi-Family Garage X Commercial

Accessory Building Boat House Other

Existing Use Single-family residence Proposed Use Single-family residence

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26 Fennell St

Skaneateles, NY 13152

315-685-2118

Fax: 315-685-0730

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Application for a Building/Zoning Permit (page 2 of 2)

LOT INFORMATION:

Indicate in box [] North South East West

Setbacks - Existing Structure		Setbacks - Proposed work				
(Distances from structure to property or lot lines)						
<input type="checkbox"/> W	Front Yard	26	ft.	Front Yard	22	ft.
<input type="checkbox"/> S	Left Side Yard	5.5 25.9	ft.	Left Side Yard	5.5 25.9	ft.
<input type="checkbox"/> N	Right Side Yard	25.9	ft.	Right Side Yard	25.9	ft.
<input type="checkbox"/> E	Rear Yard	19	ft.	Rear Yard	3.5	ft.

New connection for: (Yes/No) Sewer No Electric Service No Storm Sewer No

Does the proposed work/structure comply with the Energy Conservation Construction Code? [Yes] No, N/A

Architect's Name Andrew J. Ramsgard, RA Adrienne - 415-8789 Drum

Architect's Address 61 E Genesee St, Skaneateles NY, 13152

Contractor/Builder Name

Contractor's Phone #

Contractor's Address

Contractor's Email

The applicant declares that the information contained in this application, and the plans, specifications and other supporting materials submitted in support of this application is true and has made such representations to induce the Village of Skaneateles to issue a Building/Zoning Permit and the applicant will comply with all laws, codes and ordinances controlling this work.

Date 4/14/20 Signature Polly H. Davis

Print Applicant's Name Polly H. Davis

Affidavit of Owner or Applicant

(To be completed if application is not made by the property owner)

STATE OF NEW YORK)
) SS:
COUNTY OF ONONDAGA)

On this _____ day of _____, 20____; _____
personally appeared before me.

NOTARY PUBLIC

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26 Fennell St

Skaneateles, NY 13152

315-685-2118

Fax: 315-685-0730

Email: codes@villageofskaneateles.com

Building/Zoning Application Review Sheet

Date Received 4-14-2020 Tax Map Number 006-06-28

Applicant's Name POLLY DAVIS

Address of Worksite 14 HANNA ST.

Permit Fee Date Received Amount Received

Additional Info. Requested * AVG. SETBACK INFO.

Date Review Completed 4/29/20 Signature

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Application Status: Approved (X) Denied

Reasons for Denial - Does not comply with the following:

Section 225-A5, Density Control Schedule for:

- (X) Front Yard Setback * (X) Side Yard Setback, left Side Yard Setback, Right
Rear Yard Setback (X) Percentage of Open Area (X) Both Side Yards Combined
(X) Percentage of Structure width/lot width

Other Density Control Schedule MIN. LOT AREA.

- (X) Section 225-69D, Non-conforming Buildings, Structures and Uses, Extension or Expansion
Section 225-14(d), Swimming Pools, 25 ft. distance to lot lines
Section 225-14C (5) (a/b), Accessory Buildings, distance to lot lines or structures
Section 225-A1-3, Permitted Use Chart
Other Sections of the Zoning Law

And/or Needs:

- Certificate of Approval from the Historical Landmarks Preservation Commission, Section 225-25
Critical Impact Permit, per Section 225-52, form Board of Trustees
Special Use Permit from the Zoning Board of Appeals

* PREPARE CALCULATIONS FOR AVG. ADJACENT PROPERTIES FRONT SETBACK.

Permit Number Date Issue
Planning Board Review Zoning Board of Appeals Approval
Critical Impact Permit Approval N/A Historical Commission Approval N/A #

ZONING BOARD OF APPEALS
Village of Skaneateles
26 Fennell Street
Skaneateles, NY 13152

315-685-2118

Fax 315-685-0730

CK " 1318
\$250.00
pd. 4/15/2020

(1) NOTICE OF APPEAL

(2) APPLICATION FOR SPECIAL USE PERMIT

Date of Application 4/15/2020

To the Zoning Board of Appeals of the Village of Skaneateles, Onondaga County, New York

I/We Polly Davis
Printed or Typed Name of Appellant(s) and/or Applicant(s)

Address 14 Hannum St, Skaneateles NY 13152

(1) I hereby appeal the decision of the Village Code Enforcement Officer (Building Inspector)

 which was denial of a Zoning Permit

 which was denial of a Certificate of Occupancy

X to vary the strict application of the provisions of:

Article V Section 225 Subsection A5

Article XIV Section 225 Subsection 69 D

Article Section 225 Subsection

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VILLAGE OF SKANEATELES

(2) I hereby apply for: (check all applicable)

 A **SPECIAL USE PERMIT** required by the provisions of Article III, Section 225-10

B (1) & Section 225-11 B (2)

 A **FLOODWAY PERMIT** required by the provisions of Article III, Section 225-10

B (3) & Article VI, Section 225-18 B

This appeal or application relates to:

14 Street Number Hannum St. Street Name

Tax Map Number 006.-06-28.0

ZONING BOARD OF APPEALS

Village of Skaneateles
26 Fennell Street
Skaneateles, NY 13152

315-685-2118

Fax 315-685-0730

The applicant shall use this sheet to state the Zoning Board of Appeals details of the variances requested.

Zoning District of the lot A-2

Column

- #1 From the Density Control Schedule (Section 225-A5) fill in the minimum requirements for said lot in your Zoning District
- #2 Indicate the existing set-back dimensions, percentages, that are not-conforming with the figures in column #1, and that will not be changed by the proposed construction
- #3 Indicate the dimensions, area (in square feet) and percentages that will result from your proposed construction
- #4 Indicate the variance requested (subtract #3 from #1)

Columns →	#1	#2	#3	#4
Open Area (sq. ft.) as a % of lot area	85%	+/- 79%	+/- 74%	+/- 11%
Front yard dimension (ft.)	30 ft (or avg.)			
Left side yard dimension (ft.)	15 ft	5.5	5.5	-9.5'
Right side yard dimension (ft.)	15 ft	+/- 5.5 ft	+/- 5.5 ft	+/- 9.5 ft
Both side yards combined (ft.)	35 ft	+/- 31.4 ft	+/- 31.4 ft	+/- 3.6 ft
Rear yard dimension (ft.)	35 ft	+/- 19 ft	+/- 3.5 ft	+/- 31.5 ft
Max. width of structure as a % of lot width (Structure width divided by lot width)	65%			
Min. livable floor area, each dwelling	1,200 sf			

List below any OTHER variances, Special Permits requested
(Section of the Zoning Law) (Description)

Please state below all reasons to support your appeal or application. Attach other sheets as needed to support your appeal/application

As the property is pre-existing non-conforming since the adoption of the zoning ordinance, we seek relief to allow the owner to make reasonable improvements to their property. The proposed work will not substantially increase this non-conformance.

Dated 4/14/20

Paul H. Davis
Signature of Applicant/Appellant

APR 2020

VILLAGE OF SKANEATELES

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

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VILLAGE OF SKANEATELES

Part 1 – Project and Sponsor Information			
Name of Action or Project: Addition/Renovation of 14 Hannum St.			
Project Location (describe, and attach a location map): 14 Hannum St. (North-East side of the street with Skaneateles Creek to the North-East of the Property) See 1/Z1.0			
Brief Description of Proposed Action: The owner of 14 Hannum St. would like to make improvements to the property in the form of a building addition/renovation. The addition would consist of a new second floor/roof design, an extension of the existing garage and a new front porch.			
Name of Applicant or Sponsor: Polly Davis		Telephone: (315) 559-9999	
Address: 14 Hannum St		E-Mail: polly@taurususa.com	
City/PO: Skaneateles		State: NY	Zip Code: 13152
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Skaneateles Zoning Board of Appeals			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ 0.2 acres b. Total acreage to be physically disturbed? _____ 0.02 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.2 acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

		NO	YES	N/A
5. Is the proposed action,				
a. A permitted use under the zoning regulations?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		NO	YES	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		NO	YES	
If Yes, identify: <u>Skaneateles Creek</u>		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES	
b. Are public transportation services available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?		NO	YES	
If the proposed action will exceed requirements, describe design features and technologies:		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?		NO	YES	
If No, describe method for providing potable water: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?		NO	YES	
If No, describe method for providing wastewater treatment: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		NO	YES	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Skaneateles Creek. No proposed alteration to the creek.				

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VILLAGE OF SKANEATELES

Project: _____

Date: _____

**Short Environmental Assessment Form
Part 2 - Impact Assessment**

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

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PRINT FORM

Project: _____
Date: _____

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

PRINT FORM

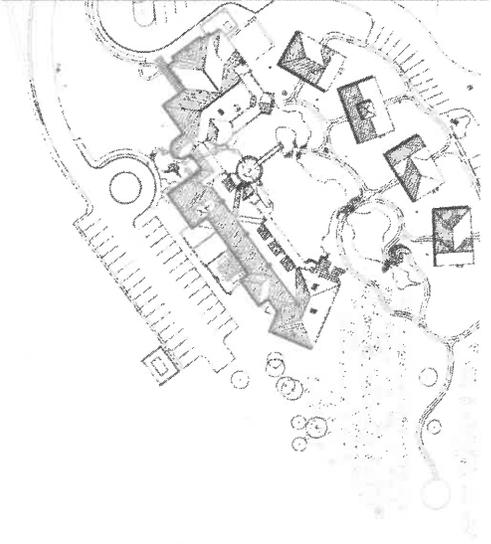
April 14, 2020

To Village of Skaneateles
26 Fennel Street
Skaneateles, NY 13152

Cc File, Polly Davis

From Adrienne Drumm, Ramsgard

Project Polly Davis Renovation/Addition of 14 Hannum St.
Project No. 1914



Dear Board Members,

The proposed project at 14 Hannum St. is a renovation/addition of the existing residence on site. The work includes an addition to the existing home's second story and forming a new, clean roofline for the residence. The scope also involves an addition to the rear of the existing garage and an expansion of the existing front porch. The owner is seeking relief from the following requirements listed in The Village of Skaneateles SK1975-225b Density Control Schedule.

The home is pre-existing non-conforming in rear-yard and side-yard setbacks. The proposed work involves maintaining the existing side yard setbacks and increasing the non-conformity of the rear yard setback (from +/- 19 ft to 3.5 ft) to accommodate an adequately sized garage. The front porch would also be expanded to increase the homes conformity with the essential character of the neighborhood. The property at 14 Hannum St. is also pre-existing non-conforming in minimum lot size, minimum lot width, and minimum open space requirements. The owner cannot make any reasonable efforts to improve lot size or width as there is no potential to expand the lot in any direction. This plan will reduce open space on the property by approximately 5%. Although the non-conformity is being increased, the functionality of the site and home will be greatly improved by these adjustments. These are the unique conditions of the site which the owner acquired it in, not self-created conditions. Bringing these requirements into conformance would require demolition of the existing house and the construction of a substantially smaller home, which is an unnecessary hardship to place on the owner.

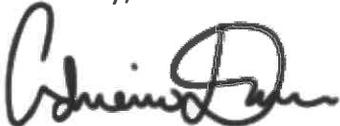
The second-floor renovation and addition will conform with the site's A-2 zoning requirements and will involve an expansion of the existing second floor master bedroom & master bathroom. There will also be second floor space added above the existing garage for a guest bedroom. The renovation and expansion of this floor will allow the roof structure of the home to be altered to create a more cohesive building form, as the building has been expanded haphazardly several times over the years. The proposed second floor/roof renovation will improve the home's external appearance in compliance with the essential character of the neighborhood.

The attached garage is pre-existing non-conforming in side-yard and rear-yard setbacks. The proposal includes a small addition (approximately 335 sf) to the rear of the existing attached garage to allow the garage to function more effectively, as the current 290 sf garage is too small to meet the needs of the owner. This addition would increase the non-conformance of the rear-yard setback on the property by approximately 15.5 ft. The unique conditions of the site do not allow an alternative compliant solution for the garage, as the owner cannot reasonably make changes to bring the structure into conformity without causing unnecessary financial hardship.

The proposed front porch replacement/expansion will increase the residence's aesthetic appeal along the street frontage in compliance with the essential character of the neighborhood. This expansion will form a connection between the two existing front exterior doors, and better utilize the existing hardscaped front yard. The expansion of the porch will also bring the existing building's front yard setback closer in line to the average front yard setback of the other structures on this street (approximately 16 ft from the public R.O.W.).

The renovation/addition proposed for the residence at 14 Hannum St. requires relief from the Village of Skaneateles SK1975-225b Density Control Schedule due to the pre-existing non-conforming nature of the property, which bringing into compliance would create unnecessary hardship on the owner. Granting the requested variances will allow the owner to improve both the aesthetics and functionality of the property in line with the spirit of the Village of Skaneateles zoning requirements and the essential character of the neighborhood.

Sincerely,

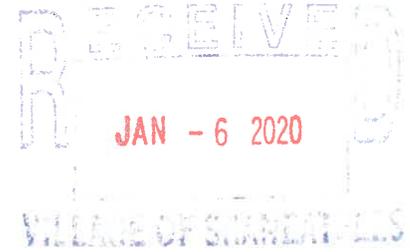


Adrienne Drumm
Ramsgard



DOREEN A. SIMMONS
dsimmons@hancocklaw.com

January 6, 2020



VIA HAND DELIVERY

Chairman Bruce Kenan and Members
of the Village of Skaneateles Planning Board
26 Fennell Street
Skaneateles, New York 13152

**Re: "Weitsman Pool Improvements"
45 and 61 West Lake Street
January 14, 2020/Planning Board Meeting**

Dear Chairman Kenan and Members of the Planning Board:

As you know, as counsel to Adam Weitsman, a Weitsman pool improvements application/revision was submitted to the Village Planning Board on October 23, 2019. A summary of the project modifications were noted in that correspondence. Communications between our office, Meyer & Meyer and the Code Enforcement office clarified certain issues and generated a recent request for a final revision of plans to reflect very minor revisions from the October deliverable. Revised plans reflecting these three points are enclosed:

1. The pool gate and baluster detail have been "flipped" so that the wrought iron railing is on the outside, per the request of the codes office;
2. The swing has been moved to avoid the sewer easement;
3. The maximum height of the driveway pillars is limited by code to three (3) feet. We have so noted that on the Revised Drawings.

Additionally, in response to questions raised by the Mahoods in their email dated January 2, 2020, we note that, as they acknowledged, the current planting plan has a height requirement and overall view protection which will be subject to the deed restriction and thereby enforceable through the Village. With regard to the existing hedge, no **new plantings** will be made in the right of way. The existing hedge will be subject to the same view protection through the deed restriction. These points were similarly addressed in our December 11, 2019 email.



Chairman Bruce Kenan and Members
of the Village of Skaneateles Planning Board
January 6, 2020
Page 2

As always, please do not hesitate to contact me or Holly Austin with any questions or concerns.

Very truly yours,

HANCOCK ESTABROOK, LLP

A handwritten signature in cursive script that reads 'Doreen A. Simmons'.

Doreen A. Simmons

DAS/ks

Enclosures

cc: Riccardo T. Galbato, Esq.
Gerald Carroll, Village of Skaneateles ZBA
John Crompton, Codes Enforcement Officer
Adam Weitsman
Holly K. Austin, Esq.
John R. Langey, Esq.

VILLAGE OF SKANEATELES

26 Fennell St
Skaneateles, NY 13152

315-685-2118
Email: codes@villageofskaneateles.com

Building/Zoning Application

Date Received 10/5/19 Tax Map Number _____

Applicant's Name ADAM WEISSMAN

Address of Worksite 45/61 W. LAKE ST.

Permit Fee Date Received _____

Additional Info. Requested _____

Date Review Completed 11/25/19 Signature [Signature]

Application Status: _____ Approved _____ Denied (X)

Reasons for Denial – Does not comply with the following:

Section 225-A5, Density Control Schedule for:

- Front Yard Setback FRONT PILLARS < 30' _____ Side Yard Setback, left
- Rear Yard Setback TRELLIS < 35' _____ Side Yard Setback, Right SOUTHERN PILLAR < 25'
- Percentage of Open Area < 90% _____ Both Side Yards Combined 10.3% VAR. NEEDED -
- _____ Percentage of Structure width/lot width

Other Density Control Schedule _____

_____ Section 225-69D, Non-conforming Buildings, Structures and Uses, Extension or Expansion

_____ Section 225-14(d), Swimming Pools, 25 ft. distance to lot lines

_____ Section 225-14C (5) (a/b), Accessory Buildings, distance to lot lines or structures

_____ Section 225-A1-3, Permitted Use Chart

Other Sections of the Zoning Law

And/or Needs:

_____ Certificate of Approval from the Historical Landmarks Preservation Commission, Section 225-25

Critical Impact Permit, per Section 225-52, form Board of Trustees PB [Signature] 225-19.1 DL(4) CITY, DEC, DOH.

_____ Special Use Permit from the Zoning Board of Appeals 225-20 D TRELLIS WITHIN 50' OF LAKE LINE.

225-52 C.1. (A, B, F, L).
225-58.B(8)(a) PARKING ENCROACHING ON FRONT YARD (P.E.N.C.)
225-58.B(8)(b) NO PARKING IN FRONT OF STRUCTURE (P.E.N.C.)

Permit Number _____	Date Issue _____
Planning Board Review _____	Zoning Board of Appeals Approval _____
Critical Impact Permit Approval _____	Historical Commission Approval <u>N/A</u> # _____

11/25/19.
DENNIS,
THIS NEW REVIEW WILL REPLACE THE OLD ONE. YOU HAVE NEW PLANS AND LANDSCAPE PLANS. BOTH WILL TYPE UP AN REFERENCE SHEET LISTING ALL THE VARIANCES AND GET THAT OUT TO PB MEMBERS. OTHER HAND PAGE 3 OF THE VAR. APP. THAT MIRRORS THE REVIEW SHEET WE SHOULD BE AOK
JK

45/61 W Lake St as of 11/26/2019- Reference sheet

225- A5 Density Control Schedule

Minimum Open Space is 90% in A1 - *Per Meyer and Meyer proposed open space is 79.7% - 10.3% Variance needed. Path from garage/house/swing to new pool house is not included in lot coverage. - See L1.00, L2.00, L3.00, L3.10 Is the pathway constructed of pavers or something else?*

225- A5 Density Control Schedule

Front yard setback - *Both Pillars next to the driveway are less than 30ft to the front lot line*

225- A5 Density Control Schedule

Right side Yard Setback - *Southern Pillar next to the driveway is less than 25ft to the side lot line*

225- A5 Density Control Schedule

Rear Yard Setback - *Trellis is less than the 35 ft to the rear lot line*

225-10 B. (3) Floodway Fringe Overzone - Any permitted use relating to premises located within the Floodway Fringe FF-O Overzone shall not be deemed to be a permitted use unless a floodway permit for said use is approved by the Zoning Board of Appeals as provided in and subject to the conditions contained in Article VI of this chapter. *ESCROW*

~~225-14 C. (2) (c) No more than 25% of Front Yards paved or used for driveways.~~

Existing = 32.1%

Proposed = 30.4%

~~225-14 C. (3) Stone, brick or concrete fences or walls in excess of 3 ft of natural grade are prohibited~~

~~225-14 C. (5)(d) Accessory uses not enclosed in a building, shall be at least 25ft from the rear lot line~~ *Per Meyer and Meyer - 37 sq ft of trellis appears to be located within 25 ft of the rear lot line*

~~225-15 A. (2) One dwelling unit per lot. Basement is 10 ft tall and 2304 sq ft.~~

225-19.1 B. Boundaries. *The entire property is located in the Skaneateles Lake Watershed Overzone*

225-19.1 C. (1) disturbance of 500 square ft within 300 ft of the lakeline

225-19.1 C. (2) Disturbance of 3,000 sq ft or more in the watershed - needs site plan approval

Meyer and Meyer permit set states - 40,000 sq ft disturbed which is .92 acres

225-19.1 D. (4.) City of Syracuse, DEC, DOH

225-19.1 E. (1) (a) Impermeable surfaces shall be graded to capture runoff and convey it to the Village storm sewer system - *Site Plan approval and Pool water can not be discharged into the storm sewer*

225-19.1 E. (1) (b) [4] Grading and removal of trees and other existing vegetation are minimized - *Site Plan approval*

225-20 C. Permit Requirements - *Site Plan approval*

225-20 D. No Structure built within 50 ft of the lake line - *Trellis, which is similar to a gazebo*

225-20 E. (2) Height. No structure, other than a boathouse or similar lakeshore accessory building located within 50 feet of the lake line, shall exceed 12 feet in height at the lowest horizontal eave line, measured from the average elevation of all finished grade elevations around the periphery of the building.

225-52 A. Critical Impact- excessive of 20,000 sq ft - *Meyer and Meyer determination 20,246 sq ft*

B. Two or more ... structures on any parcel or contiguous parcels with common ownership located within the watershed

F. Any land use development in the watershed

L. Sewer Flow excess of 400 gallons per day - *hot tub, pool, basement?*

225-58 B. (8) (a) No open or enclosed parking area shall encroach on any front yard (*currently non-conforming - but adding an additional section of a driveway, which could be parked on*)

225-58 B. (8) (b) No parking shall be permitted in front of the principal structure (*currently non-conforming- but adding an additional section of a driveway, which currently parked on*)

225-29 and 225-30 Demo Permit and Site Plan Review

Additional Items:

Proposed Stone Building that contains a Swing is located in the sanitary sewer easement

Is there a wall or a fence located on the South side of the property? *See L1.00, L2.00, L3.00, L3.10*

Need Asbestos Survey Report and Asbestos removal abatement certification, if property is demolished

Need the new Contractors Liability Insurance, Workers Compensation Insurance & Signed accurate Job Proposal – prior to receiving a building permit.

NY State Code- If retaining wall around catch basin is capable of holding 24" of water, then a fence will need to be added to the project.

Site Plan - Nothing should be built or landscaped between the Road Line and the Property Line, other than the driveway

- *permit set indicates existing landscaping in that area & existing property is not in compliance*

Does the sunken garden have a retaining wall or gravel or steps or a patio around it or large pavers for steps and is it included in the lot coverage? – *grass steps with corten steel risers - What happens to this area when it rains?*

The Baluster's do not qualify as a fence in the NY State Uniform Fire Prevention and building code for pool fencing. A masonry or stone wall, cannot contain indentations or protrusions. – *Rod Iron fence will be moved to the outside of the masonry wall per Meyer and Meyer.*

Does the pool patio have a drain? What direction is it sloped to? *There will be a drain around the pool area. Where does this flow too? Is the water flowing into the drain recycled into the pool water or does it go into the sewer? Can it handle excessive rainfall?*

How does the small catch basin handle excessive rainfall? The Freeboard line to the top of the catch basin pool is not shown. Will the catch basin overflow into the lake?

A normal pool that is not an infinity pool will fill up to the top in an excessive rainstorm and may overflow, but an infinity pool is already at the top so what happens during an excessive rainstorm? Will the pool water flow into the lake?

When a normal pool is backwashed, a hose is put in the pool and the water is pumped out and allowed to drain onto the lawn. Would any water enter into the lake during backwashing?

If the entire pool is drained where will the water be drained to?

How often will the pool be drained? When the pool is filled, where will the water be coming from?

Pool will need to have an Alarm system per NY State Code.

If the pool or hot tub is heated to more than 90 degrees F it will need a vapor retardant cover with a minimum insulation value of R-12 per NY State Code.

Will the new extended driveway have a snowmelt system?



DOREEN A. SIMMONS
dsimmons@hancocklaw.com

October 23, 2019

VIA E-MAIL & FIRST-CLASS MAIL

Chairman Bruce Kenan and Members
of the Village of Skaneateles Planning Board
26 Fennell Street
Skaneateles, New York 13152

**Re: "Weitsman Pool Improvements" Application
45 and 61 West Lake Street**

Dear Chairman Kenan and Members of the Planning Board:

As you know, our firm represents Adam Weitsman with respect to the site plan application for a pool and related improvements at 61 West Lake Street, which was previously approved by resolution of the Planning Board on August 1, 2019 ("Resolution"), subject to obtaining the necessary variances from the Zoning Board of Appeals, the submission of an acceptable and appropriate landscaping plan and various restrictive covenants. As the Planning Board is aware, the Weitsmans' application has generated significant public interest from this Board as well as neighbors along West Lake Street.

In light of the foregoing, and after careful consideration of various comments and concerns, the Weitsmans have determined to revise their project plans to address concerns while still achieving their desire for a pool and related improvements for the benefit of the Weitsman family. The Weitsmans and, in particular, now the Ehrichs, believe the project revisions achieve a harmonious relationship between preserving the character of West Lake Street, lake views and achieving the goals of the Weitsmans.

A summary of the project modifications includes the following:

- Removal of the pool house feature and a reduced footprint of the pool and related improvements (reducing approvals and variances required from the Zoning Board of Appeals);
- A landscaping plan designed to create and preserve lake views to the maximum extent possible;
- Plantings designed to preserve privacy between 61 West Lake Street and 63 West Lake Street
- Eliminating the proposed dock.

Accordingly, please find enclosed the following revised project materials for your consideration:

1. Revised site plans depicting the pool and related improvements and Lot Coverage Calculations dated 11/26/18;
2. A landscaping plan demonstrating the types, size and location of plantings (designed to achieve maximum view preservation from West Lake Street and neighboring properties) dated 10/21/19;
3. Views as referenced in the Resolution;
4. Variance Summary Chart dated 10/23/19.

Based on the fact that the above described revisions only reduce the project's previously approved size and scope and has additional support, it is respectfully requested that the Planning Board place this matter on its November 2019 agenda and expeditiously approve the revised plans (along with the landscaping plan and proposed covenant) without conducting a new public hearing. We also submit that the Board may re-affirm the prior detailed SEQRA review process and negative declaration at that time.

As always, please do not hesitate to contact me with any questions or concerns. Please advise if you wish additional Project views/renderings. Thank you for your consideration.

Very truly yours,

HANCOCK ESTABROOK, LLP



Doreen A. Simmons

DAS/ks

Enclosures

cc: Riccardo T. Galbato, Esq. (*Via E-mail*)
Adam Weitsman
Gerald Carroll, Village of Skaneateles ZBA (*Via E-mail*)
John Crompt, Codes Enforcement Officer (*Via E-mail*)
John R. Langey, Esq. (*Via E-mail*)

**Variations Summary – as of 10/23/19
Weitsman Pool Project/ Modified**

Variations listed by Codes Office on 2/1/19	Applicant Position
Vary the strict application of Section 225-A5 Density Control Schedule for minimum open area	Agree to request variance. 79.7% open area (new calculation); Variance 10.3%
Section 225-A5 Density Control Schedule for front yard set-back	Agree to request variance. Driveway pillars less than 30' from lot line
Vary the strict application of Section 225-A5 Density Control Schedule for right side yard set-back	Agree to request variance. Southern Pillar less than 25'
Vary the strict application of Section 225-A5 Density Control Schedule for rear yard set-back	Agree to request variance. Only the trellis is within 25' of the Lake.
Section 225-14C(2)(c) & 225-58B(8)(a) and (b) for front yard driveway/parking	Agree to request variations 28.6% paved (3.6%); parking in front yard on driveway *No new additional parking in front yard
Section 225-14C(3)	Agree to request variance. Retaining wall will exceed three feet above natural grade because of the slope of the property
Section 225-14C(5)(d)	Agree to request variance for swimming pool use. <i>Query: "front yard" or within 25 feet of side or rear lot line because of column?</i>
Section 225-20 D&E(2) for development within 50 feet of Skaneateles Lake	Agree to obtain variance. Only the trellis is within 50' of the Lake.
Section 225-19.1C(1,2)&D(4)&E for Lake Watershed Overzone Development	Site plan approval (received)
Vary the strict application of Section 225-10B(3) for Flood Fringe FF-O Overlay zone	Requesting floodway permit. Note now no dock or change to retaining walls.

Below Removed

Section 225-15A(2) for **multiple dwelling units**
No Pool House now/ not required

Section 225-11 B (2) -Special Use Permit for Dock pursuant to Permitted Use Chart
No Dock now/not required

Private Pool House

45 West Lake St, Skaneateles NY

CONSULTANT LISTING

OWNER
Adam & Kim Weisman
45 West Lake Street
Skaneateles, NY

ARCHITECT
Meyer & Meyer Architects, Inc.
396 Commonwealth Avenue
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Phone: 617-266-0555
Email: lsaracco@meyerandmeyerarchitects.com

STRUCTURAL ENGINEER
Webb Structural Services
670 Main Street
Reading, MA
Phone: 781-779-1330
Email: dan@webbss.net

LANDSCAPE ARCHITECT
Pressley Associates Inc,
Attn: Marion Pressley
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Newton Centre, MA 02459
Phone: 617-969-1934 Ext. 209
Email: mpressley@pressleyinc.com

GENERAL CONTRACTOR
LeChase Construction
Attn: Adam Green
205 Indigo Creek Dr
Rochester, NY 14626

CIVIL ENGINEER
Joyce Consulting Group
Attn: Erin Joyce
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Braintree, MA 02184
Phone: 781-817-6120
Email: erjoyce@joycecg.com

POOL ENGINEER
Design Pool and Spa
Attn: Bucky Frusco
7244 Pittsford Palmyra Rd
Fairport, NY 14450
Phone: 585-223-8650

SURVEYOR
Paul James Olszewski, PLS, PLLC
Attn: Paul Olszewski
51 Fennell St.
Skaneateles, NY 13152
Phone: 315-488-5552



ZONING SUMMARY

Zone: Residence - District A-1

Zoning Requirements

	REQUIRED	PROPOSED
OPEN AREA (SF) AS A % OF LOT AREA	90	79.7
FRONT YARD	30'	0'
LEFT SIDE YARD	25'	310' - 2"
RIGHT SIDE YARD	25'	20' - 6"
REAR YARD	50'	20'
MAX WIDTH OF STRUCTURE AS A % OF LOT WIDTH	55%	10.4%
MIN. LIVABLE FLOOR AREA	1,200	N/A
MAX BUILDING HEIGHT	35'	N/A

Variances Summary - as of 10/23/19 Weisman Pool Project/ Modified

Variances listed by Codes Office on 2/1/19	Applicant Position
Vary the strict application of Section 225-A5 Density Control Schedule for minimum open area	Agree to request variance. 79.7% open area (new calculation); Variance 10.3%
Section 225-A5 Density Control Schedule for front yard set-back	Agree to request variance. Driveway pillars less than 30' from lot line
Vary the strict application of Section 225-A5 Density Control Schedule for right side yard set-back	Agree to request variance. Southern Pillar less than 25'
Vary the strict application of Section 225-A5 Density Control Schedule for rear yard set-back	Agree to request variance. Only the trellis is within 25' of the Lake.
Section 225-14C(2)(c) & 225-58B(8)(a) and (b) for front yard driveway/parking	Agree to request variances 30.4% paved (5.4%); parking in front yard on driveway *No new additional parking in front yard
Section 225-14C(3)	Agree to request variance. Retaining wall will exceed three feet above natural grade because of the slope of the property
Section 225-14C(5)(d)	Agree to request variance
Section 225-20 D&E(2) for development within 50 feet of Skaneateles Lake	Agree to obtain variance. Only the trellis is within 50' of the Lake.
Section 225-19.1C(1,2)&D(4)&E for Lake Watershed Overzone Development	Site plan approval (received)
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No Pool House now/ not required

Section 225-11 B (2) -Special Use Permit for Dock pursuant to Permitted Use Chart
No Dock now/not required

MEYER & MEYER, INC.
ARCHITECTURE • INTERIORS
396 COMMONWEALTH AVENUE BOSTON, MASSACHUSETTS 02215



MMXIX



Permit Set - Final Submission
January 3rd, 2020

LOCATION MAP

Skaneateles, New York



INDEX OF DRAWINGS

Sheet Number	Sheet Name	Permit Set 10/30/2019
--	Cover Sheet	■
A0.00	Drawing List	■
A0.02	61 W Lake Street Survey	■
A0.03	45 W Lake Street Survey	■
C1.00	Site Preparation & Erosion Control Plan	■
C2.00	Site Drainage & Utility Plan	■
C3.00	Site & Utility Details	■
L1.00	Rendered Site Plan	■
L2.00	Grading Plan	■
L3.00	Planting Plan	■
L3.01	Planting Diagram	■
Z1.00	Site Plan - Lot Coverage Calculations	■
Z1.01	Site Plan - Critical Impact Calculations	■
A0.10	Site Plan	■
A1.00	Basement Plan	■
A1.10	First Floor Plan	■
A2.00	East and West Elevations	■
A2.01	North and South Elevations	■
A3.00	Building Sections	■
A3.01	Building Sections	■
A4.00	Typical Wall Sections	■
A4.01	Pool Deck Wall Sections	■
A4.02	Pool Sections and Details	■
A4.03	Pier and Railing Details	■
A4.04	Trellis Details	■
A4.05	Cabana Plan and Elevations	■
A9.00	Stone Staircase	■
A9.01	Grass Staircase	■
AP1.00	Perspective	■
AP2.00	Perspective	■
AP3.00	Perspective	■
S0.0	General Notes	
S0.2	Foundation Plan	
S1.1	Foundation Details	
S2.2	Framing Details	



Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

General Notes:
General Contractor shall make all Subcontractors and Suppliers aware of the requirements of these notes.
All work shall be performed in compliance with all applicable Local, State and National Building, Life Safety and Electrical Codes.
General Contractor shall be responsible for securing all permits as necessary for the completion of work shown throughout the Contract Documents.
General Contractor shall lay out, in the field the entire work to verify dimensional relationships before constructing any part, and shall verify all existing conditions and locations before proceeding.
Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the required removal of completed work at General Contractor cost, if a discrepancy which could have been discovered causes modifications to the plans.
General Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the classifying or specifying of a product, material or means of assembly is to be pointed out to the Architect immediately.
Drawings shall not be scaled for dimensions and/or sizes. Owner and Architect assume no responsibility for use of incorrect scale.
Regardless of whether or not an item is shown or specified, General Contractor shall provide said item if it is necessary for the proper installation or function of an item shown or specified. Suppliers and Subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.
All dimensions to interior/exterior walls indicated are to face of stud wall or concrete/c.m.u. unless noted otherwise.
Copyright Note:
Meyer and Meyer Inc. expressly reserves the Common Law Copyright and other Property Rights in these plans. These drawings are the property of Meyer and Meyer Inc. and shall not be reproduced in any manner, nor are they to be assigned to any third party without first obtaining the expressed written permission and consent of Meyer and Meyer Inc.



Drawing Title:
Drawing List

Drawn: Author

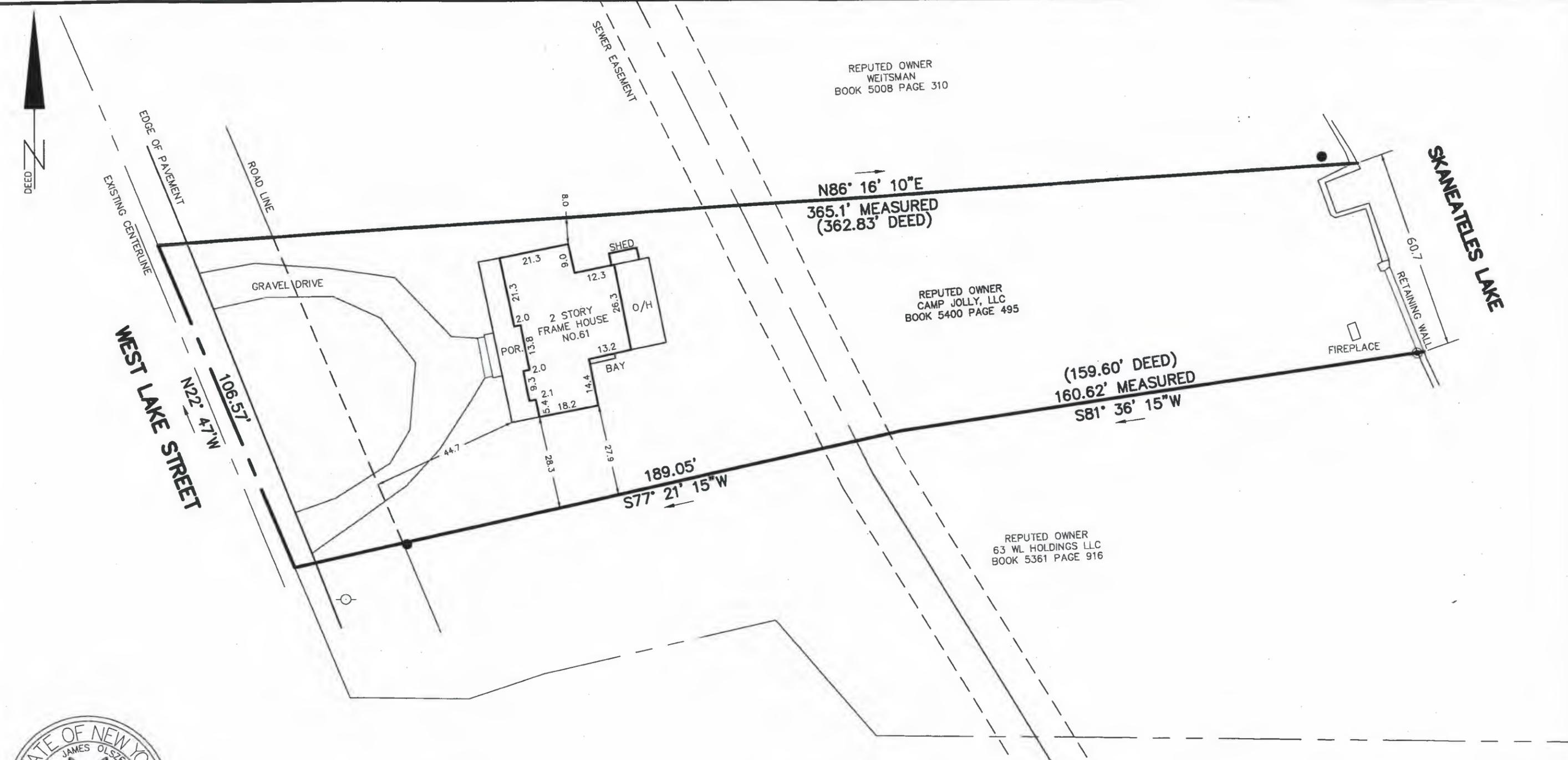
Checked: Checker

Project Number: 93480

Date: January 3, 2020

Drawing Number:

A0.00



REPUTED OWNER
WEITSMAN
BOOK 5008 PAGE 310

REPUTED OWNER
CAMP JOLLY, LLC
BOOK 5400 PAGE 495

REPUTED OWNER
63 WL HOLDINGS LLC
BOOK 5361 PAGE 916



LEGEND

- CONCRETE MONUMENT FOUND □
- IRON PIPE FOUND ○
- IRON ROD FOUND ●
- IRON ROD SET ⊙
- UTILITY POLE ○
- OVER HEAD WIRE — OHW —
- CONTOUR LINE — 878 —

REFERENCE
FINAL PLAN PART OF LOT 9 - BLOCK 25 VILLAGE OF SKANEATELES, COUNTY OF ONONDAGA, STATE OF NEW YORK PREPARED BY JACK COTTRELL DATED 6-17-1955. FILED IN THE ONONDAGA COUNTY CLERKS OFFICE ON 8-26-1955 AS MAP NO. 3761.

SURVEY SUBJECT TO ANY STATE OF FACTS AN ACCURATE AND UP TO DATE ABSTRACT OF TITLE WILL SHOW.

THE UNDERSIGNED SURVEYOR HEREBY CERTIFIES THAT THIS IS AN ACCURATE MAP OF AN ACTUAL SURVEY COMPLETED 01-03-2018.

Paul J. Olszewski
PAUL J. OLSZEWSKI, P.L.S. LICENSE No. 50212

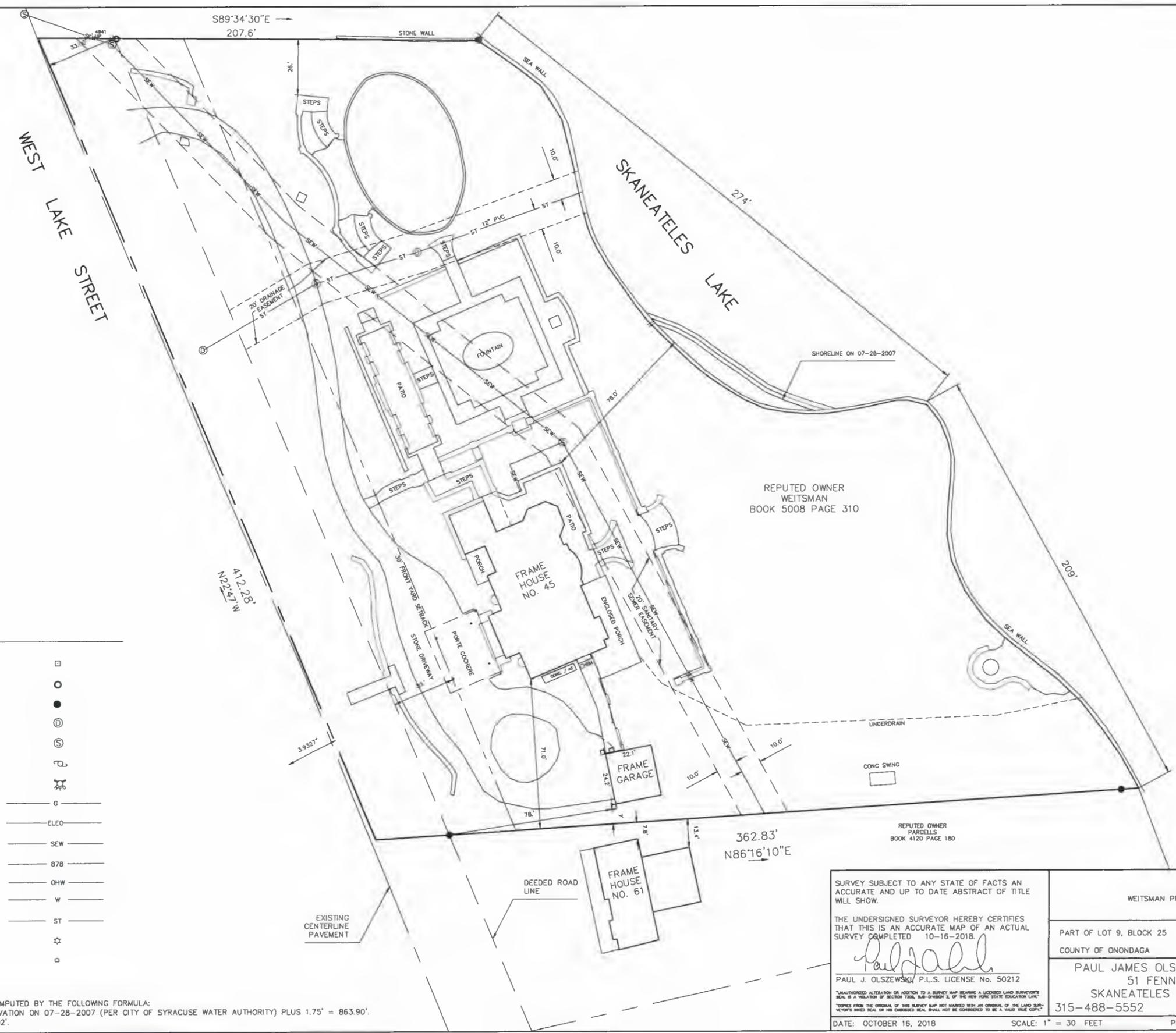
UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
COPIES FROM THE ORIGINAL OF THIS SURVEY MAP NOT MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

PART OF LOT 9
GRIFFINS 1870 MAP

PART OF BLOCK 25 VILLAGE OF SKANEATELES
COUNTY OF ONONDAGA STATE OF NEW YORK

PAUL JAMES OLSZEWSKI, P.L.S., PLLC
P.O. BOX 336
CAMILLUS NEW YORK, 13031
315-488-5552 pjosurvey.com

DATE: JANUARY 5, 2017 SCALE: 1" = 30 FEET PROJECT No. SK10-02-44



LEGEND

CONCRETE MONUMENT	□
IRON PIPE	○
IRON ROD	●
CATCH BASIN	⊙
SANITARY MANHOLE	⊕
UTILITY POLE	⊖
HYDRANT	⊗
GAS LINE	— G —
ELECTRIC	— ELEG —
SANITARY SEWER	— SEW —
CONTOUR LINE	— 878 —
OVER HEAD WIRE	— OHW —
WATER LINE	— W —
STORM SEWER	— ST —
LIGHT POST	☆
UTILITY BOX	□

NOTES:
 VERTICAL DATUM NGVD 1929 COMPUTED BY THE FOLLOWING FORMULA:
 862.15' SKANEATELES LAKE ELEVATION ON 07-28-2007 (PER CITY OF SYRACUSE WATER AUTHORITY) PLUS 1.75' = 863.90'.
 HIGH WATER ELEVATION = 865.02'.



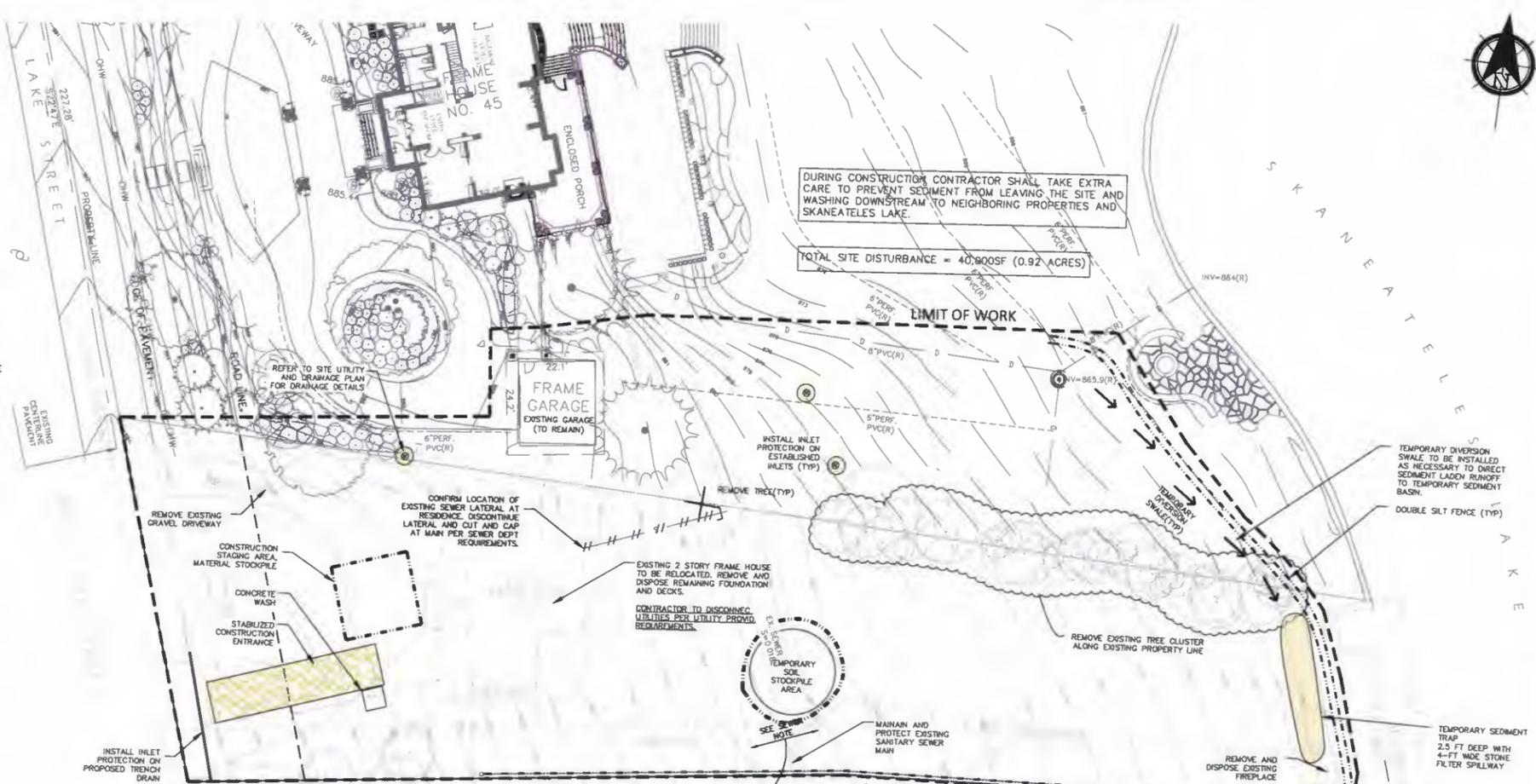
SURVEY SUBJECT TO ANY STATE OF FACTS AN ACCURATE AND UP TO DATE ABSTRACT OF TITLE WILL SHOW.
 THE UNDERSIGNED SURVEYOR HEREBY CERTIFIES THAT THIS IS AN ACCURATE MAP OF AN ACTUAL SURVEY COMPLETED 10-16-2018.
Paul J. Olszewski
 PAUL J. OLSZEWSKI / P.L.S. LICENSE No. 50212
*UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7208, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
COPIES FROM THE ORIGINAL OF THIS SURVEY MAP NOT MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S WREED SEAL OR HIS CHANGED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

WEITSMAN PROPERTY / EASEMENTS	
PART OF LOT 9, BLOCK 25	VILLAGE OF SKANEATELES
COUNTY OF ONONDAGA	STATE OF NEW YORK
PAUL JAMES OLSZEWSKI, P.L.S., PLLC 51 FENNEL STREET SKANEATELES NEW YORK, 13152	
315-488-5552	pjosurvey.com

File Location: L:\T\liblock\249436\liblock-New.dwg

EROSION CONTROL AND GRADING NOTES

- CONTRACTOR SHALL CLEAR THE PERMETER OF THE CONSTRUCTION AREA AND PLACE EROSION CONTROL MEASURES PRIOR TO COMMENCING WORK. EROSION CONTROL DEVICES TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED. CRUSHED STONE STABILIZATION PAD TO BE PLACED AT THE CONSTRUCTION ENTRANCE. IF BUILDING AND SITE WORK TO BE PHASES, CLEARING LIMITS SHOULD NOT EXCEED AREA NECESSARY TO CONSTRUCT EACH PHASE OF CONSTRUCTION.
 - TOPSOIL SHALL BE STRIPPED FROM ALL DISTURBED AREAS AND STOCKPILED IN AREAS DESIGNATED BY THE OWNER AND THE ENGINEER. CONTRACTOR IS TO PERFORM THE EARTHWORK MAKING ALL CUTS AND FILLS AS SHOWN ON THE PLANS AND PER FIELD STAKEOUT. UPON COMPLETION OF HOUSE CONSTRUCTION, TOPSOIL SHALL BE REPLACED TO A DEPTH OF SIX (6) INCHES TO ACHIEVE FINAL GRADING ELEVATION.
 - AS EARTHWORK IS IN PROGRESS EROSION CONTROL DEVICES SHALL BE INSTALLED AS SLOPES ARE DISTURBED OR CREATED. SLOPES SHALL BE STABILIZED AS SOON AS WORK ON THEM IS COMPLETED. SLOPES AT 3:1 OR GREATER SHALL BE TRACKED AND SEED. SLOPES SHALL BE SEED AS SOON AS POSSIBLE AFTER COMPLETION OF WORK.
 - IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS BEEN TEMPORARILY OR PERMANENTLY CEASED, TEMPORARY OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE INSTALLED AND/OR IMPLEMENTED WITHIN 7 DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY CEASED.
 - UPON COMPLETION OF THE EARTHWORK, THE CONTRACTOR SHALL PROCEED WITH THE INSTALLATION OF ALL UNDERGROUND UTILITIES.
 - DURING CONSTRUCTION, THE CONTRACTOR WILL BE RESPONSIBLE FOR REPLACING ANY SILT FENCING, CHECK DAMS OR CATCH BASIN/YARD INLET PROTECTION WHICH BECOME CLOGGED, INOPERABLE OR DAMAGED. STRAW BALES SHALL BE INSPECTED AT MAXIMUM INTERVALS OF THREE MONTHS FOR REPLACEMENT. ALL EROSION AND SILTATION CONTROLS INCLUDING SILT FENCING, CHECK DAMS, INLET PROTECTION AND DESILTATION SINKS WILL BE INSPECTED AFTER A STORM EVENT AND REQUIRED REPAIRS WILL BE MADE IMMEDIATELY.
 - EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL CALL THE UPFO HOTLINE AT 1-800-962-7982 FOR STAKE-OUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.
 - CRUSHED STONE PAD SHALL BE INSTALLED AT CONSTRUCTION ENTRANCE TO PROVIDE A STABILIZED ENTRANCE POINT. (SEE DETAIL)
 - ANY SILT OR SEDIMENT ACCUMULATED IN EXISTING SALES, STORM SEWERS, STREET AND/OR GUTTERS SHALL BE CLEANED OUT DURING CONSTRUCTION. AT A MINIMUM SILT AND SEDIMENT SHALL BE CLEANED ON A DAILY BASIS.
 - DISTURBED AREAS SHALL BE STABILIZED, AND SLOPES GREATER THAN 10% SEED UPON COMPLETION OF GRADING AND CONSTRUCTION. SLOPES 3:1:1 OR STEEPER SHALL BE STABILIZED WITH A ROLLED EROSION CONTROL MAT. DISTURBED AREAS SHALL BE SEED IMMEDIATELY UPON COMPLETION WITH TEMPORARY AND PERMANENT MIXTURES, AS APPROPRIATE. SEED ALL CUT AND FILL, TOPSOIL PILES AND PONDS WITHIN SEVEN (7) DAYS AFTER COMPLETION.
- TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:**
- THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE. IMMEDIATELY SEED WITH THE FOLLOWING MIX:
- | | LBS/ACRE | LBS/1,000 SQ. ACRES |
|--------------------------|----------|---------------------|
| SPRING/SUMMER/EARLY FALL | | |
| ANNUAL RYE GRASS | 30 | 0.7 |
| PERENNIAL RYEGRASS | 30 | 0.7 |
| LATE FALL/EARLY WINTER | | |
| CEREAL RYE | 100 | 2.5 |
- ** NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.**
- ** IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC REGULATIONS.**
- SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.
- DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH MATERIALS SPECIFIED BY THE LANDSCAPE ARCHITECT. REFER TO LANDSCAPE ARCHITECTURE PLANS AND PROJECT SPECIFICATIONS FOR PERMANENT SEED AND SOIL APPLICATIONS.
- FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM, PERENNIAL VEGETATIVE COVER WITH DENSITY OF 80% OVER THE ENTIRE PERVIOUS SURFACE HAS BEEN ESTABLISHED.
 - DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR DIRECTED BY THE VILLAGE OF SKANEATELES.



EROSION CONTROL CONSTRUCTION SEQUENCE:

- INSTALL ALL PERMETER EROSION AND SEDIMENTATION CONTROL DEVICES, STABILIZED CONSTRUCTION ENTRANCE, TREE PROTECTION DEVICES, AND MOBILIZE AND SET UP TEMPORARY STORAGE AREAS AT THE SITE.
- BEGIN GENERAL CONSTRUCTION ACTIVITIES TO RELOCATE EXISTING STRUCTURES AND TO REGRADE EXISTING DRIVEWAY AND EXTEND TO CREATE NEW DRIVEWAY. REMOVE TREES DOWN TO STUMP WHERE APPLICABLE (STUMP REMOVAL TO HAPPEN DURING SITE WORK AT LOCATION OF STUMP).
- INSTALL FOUNDATION/BASEMENT, GRADE AND STABILIZE DRIVEWAY AND INSTALL NEW DRIVEWAY DRAINAGE. INLET PROTECTION SHALL BE PROVIDED AT ALL ACTIVE STORM INLET STRUCTURES.
- CONSTRUCT NEW RETAINING WALLS AND PATIOS, BEGIN POOL HOUSE FRAMING.
- COMPLETE FINAL SANITARY AND WATER PLUMBING CONNECTIONS.
- FINALIZE LANDSCAPE, PERMANENTLY STABILIZE ALL AREAS AROUND THE POOL HOUSE LOCATION.
- REMOVE EROSION CONTROLS AND CEASE MONITORING ONLY AFTER APPROVAL HAS BEEN GRANTED BY THE VILLAGE OF SKANEATELES AND/OR THEIR PROJECT REPRESENTATIVE.

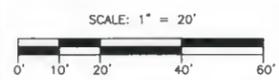


SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON _____ DATE _____

VILLAGE HIGHWAY & WATER SUPERINTENDENT _____ DATE _____

NOTE:
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FULL SIZE SHEET IS 24"X36"
FOR PERMITTING ONLY

MEYER & MEYER
ARCHITECTURE AND INTERIORS

F 617.366.2902
T 617.366.6555
396 Commonwealth Avenue
Boston, Massachusetts 02115

Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

JOYCE CONSULTING GROUP
110 WYMAN ROAD
BRANTREE, MA 01870
Tel: 617.74.1230 jnl@joycecg.com

General Notes:
General Contractor shall make all Subcontractors and Suppliers aware of the requirements of these notes.
All work shall be performed in compliance with all applicable Local, State and National Building, Life Safety and Electrical Codes.
General Contractor shall be responsible for securing all permits as necessary for the completion of work shown throughout the Contract Documents.
General Contractor shall lay out in the field the entire work to verify dimensional relationships before commencing any part, and shall verify all existing conditions and locations before proceeding.
Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the removal of work of completed work at General Contractor cost, if a discrepancy which could have been discovered causes modifications to the plans.
General Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the classifying or specifying of a product, material or means of assembly is to be pointed out to the Architect immediately.
Drawings shall not be scaled for dimensions and/or sizes. Owner and Architect assume no responsibility for use of incorrect scale.
Regardless of whether or not an item is shown or specified, General Contractor shall provide and keep it if necessary for the proper installation or function of an item shown or specified. Suppliers and Subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.
All dimensions to interior/exterior walls indicated are to face of stud wall or concrete, m.e. unless noted otherwise.
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Registration:

Drawing Title:
Site Preparation & Erosion Control Plan

Drawn: EVJ
Checked: MGJ
Project Number: 18062
Date: January 3, 2020
Drawing Number:

C1.00

PER SECTION 7209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF A DOCUMENT BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

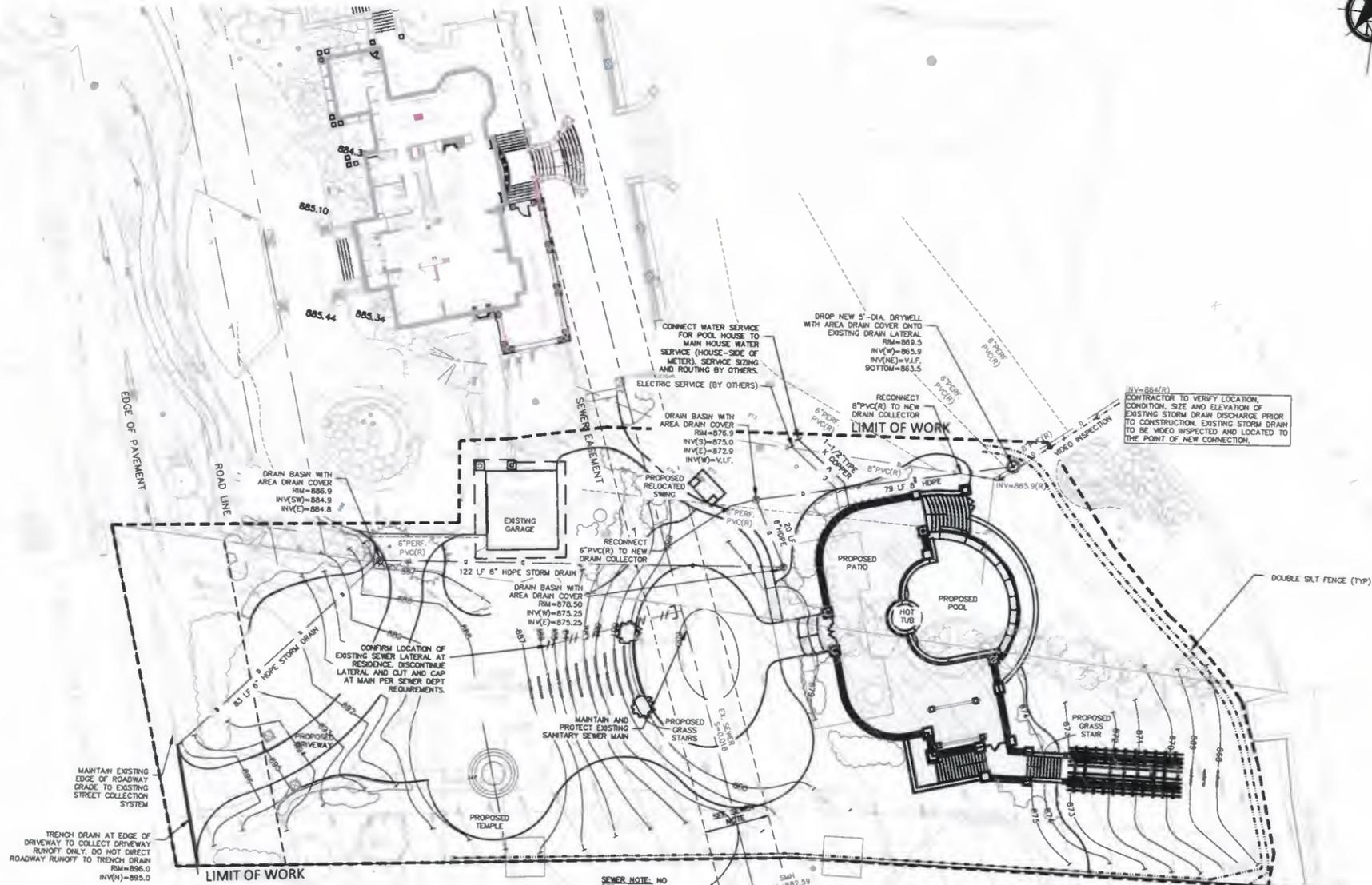
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GENERAL NOTES

- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND A FIELD INSTRUMENT SURVEY PROVIDED BY THE CLIENT AND PREPARED BY PAUL J. OLSZEWSKI, PLS, P.C. IN FEBRUARY 2018. FIELD INSTRUMENT SURVEY WAS LIMITED TO THE 61 WEST LAKE STREET PARCEL.
- UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
- EXISTING SITE STORM DRAIN UTILITIES ARE SHOWN BASED ON RECORD MAPPING AND ARE NOT BASED ON THE AS-BUILT CONDITION. CONTRACTOR SHALL VERIFY SIZE, CONDITION, AND DEPTH OF EXISTING STORMWATER UTILITIES PRIOR TO MAKING ANY CONNECTIONS.
- THE SITE DOES NOT FALL WITHIN ANY FEMA SPECIAL FLOOD HAZARD ZONES PER C.P. #3606060 MAP REVISED MAY 18, 2018.
- NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE VILLAGE OF SKANEATELES AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE VILLAGE OF SKANEATELES HIGHWAY DEPARTMENT FOR ALL WORK WITHIN THE RIGHT-OF-WAY.
- CONTOURS DERIVED FROM NAVD88 DATUM. NGVD 29 CONVERSION TO NAVD 88 (-0.5').
- DEPTH OF EXISTING SEWER MAIN HAS NOT BEEN RECORDED. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING SANITARY SEWER MAIN CROSSING THE PARCEL PRIOR TO CONSTRUCTION. CONTRACTOR TO REPORT SIZE AND DEPTH TO ENGINEER FOR REVIEW OF PROPOSED SANITARY LATERAL CONNECTION. NOTE THAT SANITARY CONNECTION MAY REQUIRE A LIFT STATION IF DEPTH OF SANITARY SEWER MAIN IS HIGHER THAN THE INVERT OF THE LATERAL LEAVING POOL HOUSE.
- NO POOL DRAINS SHALL BE CONNECTED TO THE VILLAGE SANITARY SEWER SYSTEM.

LEGEND

- | | | | |
|-----------|----------------------|---------|------------------|
| — W — | PROPOSED WATER | — S — | SILT FENCE |
| — S — | PROPOSED SEWER | — 300 — | EXIST. CONTOUR |
| — D — | PROPOSED DRAIN | — 300 — | PROPOSED CONTOUR |
| — E — | PROPOSED ELECT | — — — | PROPERTY LINE |
| — T — | PROPOSED TELL | — — — | CENTERLINE |
| — GAS — | PROPOSED GAS | LP | LIGHT POLE |
| — 300.3 — | PROPOSED SPOT GRADE | ⊙ | DRAIN MANHOLE |
| — — — | PROPOSED EROSION MAT | ⊙ | CATCH BASIN |
| — — — | CHECK DAM | ⊙ | SEWER MANHOLE |
| | | ⊙ | WATER VALVE |
| | | ⊙ | HYDRANT |



MEYER & MEYER
ARCHITECTURE AND INTERIORS

P: 617.266.2952
T: 617.266.4955

385 Commonwealth Avenue
Boston, Massachusetts 02115

Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

JOYCE CONSULTING GROUP
150 WYMAN ROAD
BARTLETT, MA 01915
tollfree@joycecg.com

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General Contractor shall be responsible for securing all permits as necessary for the completion of work shown hereon in the Contract Documents.
General Contractor shall lay out in the field the entire work to verify dimensional relationships before commencing any part, and shall verify all existing conditions and locations before proceeding.
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All dimensions to interior/exterior walls indicated are to face of wall or corner, unless noted otherwise.

Registration:

Drawing Title:
Site Drainage & Utility Plan

Drawn: EVJ
Checked: M6J
Project Number: 18062
Date: January 3, 2020
Drawing Number:

SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON _____ DATE _____
VILLAGE HIGHWAY & WATER SUPERINTENDENT _____ DATE _____

NOTE:
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FULL SIZE SHEET IS 24"X36"
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C2.00

Project:
Private Pool House
45 West Lake St.
Skaneateles NY

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Final Submission



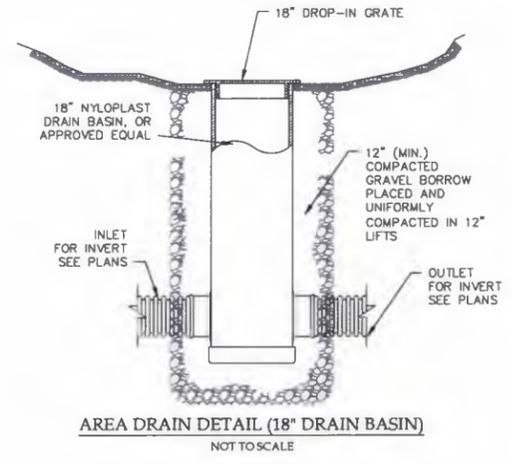
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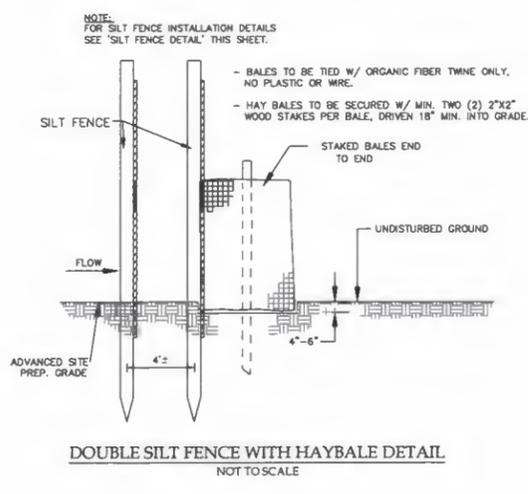
Registration:
Drawing Title:
Site & Utility Details

Drawn: **EVI**
Checked: **MGJ**
Project Number: **18062**
Date: **January 3, 2020**
Drawing Number:

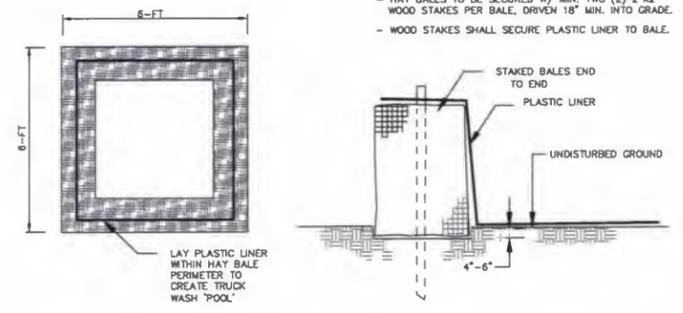
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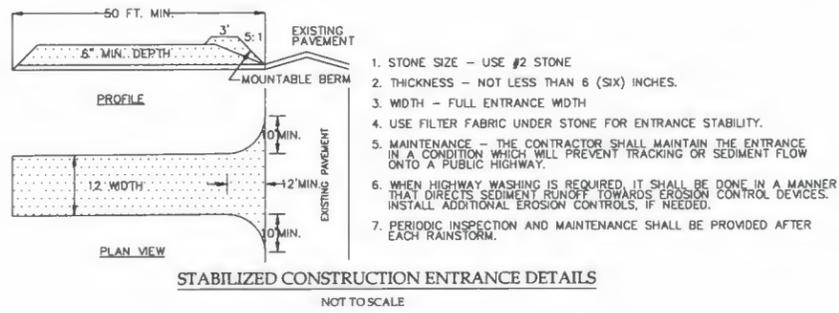
AREA DRAIN DETAIL (18" DRAIN BASIN)
NOT TO SCALE



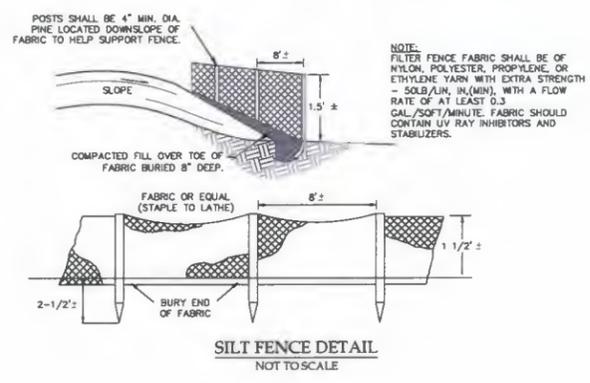
DOUBLE SILT FENCE WITH HAYBALE DETAIL
NOT TO SCALE



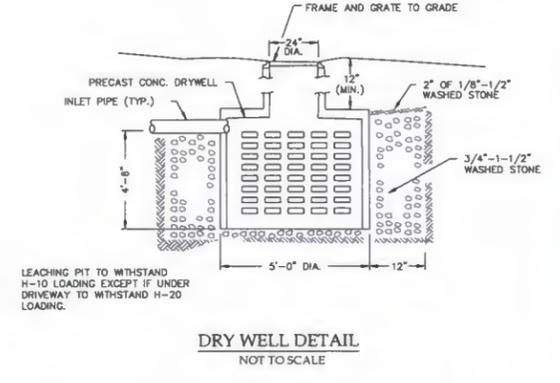
CONCRETE TRUCK WASH AREA
NOT TO SCALE



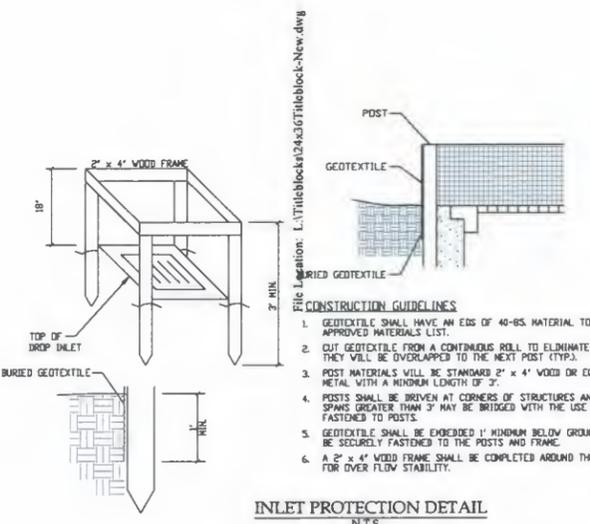
STABILIZED CONSTRUCTION ENTRANCE DETAILS
NOT TO SCALE



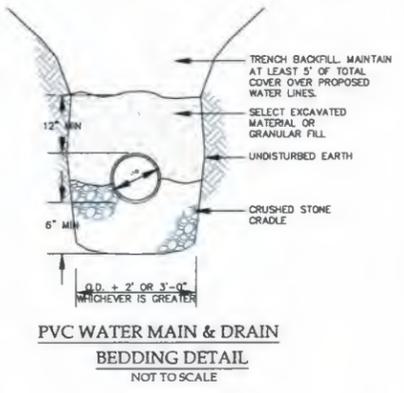
SILT FENCE DETAIL
NOT TO SCALE



DRY WELL DETAIL
NOT TO SCALE



INLET PROTECTION DETAIL
N.T.S.

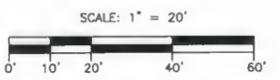


PVC WATER MAIN & DRAIN BEDDING DETAIL
NOT TO SCALE

SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON _____ DATE _____
VILLAGE HIGHWAY & WATER SUPERINTENDENT DATE _____

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J:\17037.00 Weisman Residence Expansion\00_CDX\KraetWeisman Pool House Landscape Permit Set.dwg

Landscape Master Plan



Note: Existing vegetation will be maintained to preserve views of the Lake.

MEYER & MEYER
ARCHITECTURE AND INTERIORS

© 617-266-2875
T 617-266-0515
770 Commonwealth Avenue
Boston, Massachusetts 02215

P Pressley Associates
Landscape Architects
219 Parker Street
Newton Centre, MA 02459
Tel: 617-969-1934
Fax: 617-969-1066

**Private Residence
Pool Deck**
61 W Lake Street, Skaneateles, New York

Issue Dates and Revisions:
01/03/2020 Permit Set
Final Submission



Drawing Title:
Site Plan

Drawn: FP
Checked: MP
Project Number: 17037.00
Date: 01/03/2020
Drawing Number:

L1.00

**Private Residence
Pool Deck**
61 W Lake Street, Skaneateles, New York

Issue Dates and Revisions:
01/03/2020 Permit Set
Final Submission



Registration:
Drawing Title:

Grading Plan

Drawn: FP

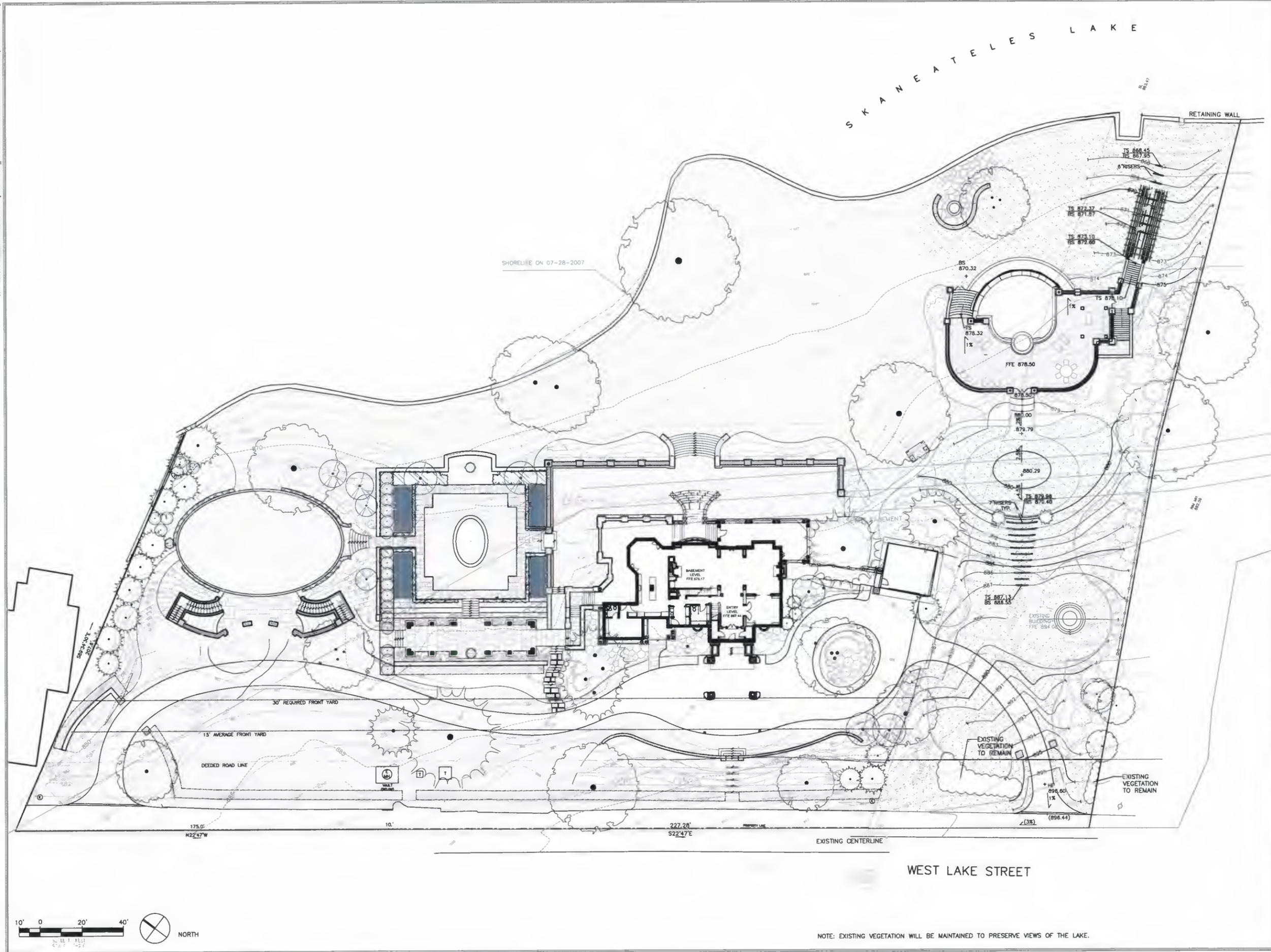
Checked: MP

Project Number: 17037.00

Date: 01/03/2020

Drawing Number:

L2.00



NOTE: EXISTING VEGETATION WILL BE MAINTAINED TO PRESERVE VIEWS OF THE LAKE.

Private Residence
Pool Deck
61 W Lake Street, Skaneateles, New York

Issue Dates and Revisions:
01/03/2020 Permit Set
Final Submission



Registration:

Drawing Title:
Planting Plan

Drawn: FP

Checked: MP

Project Number: 17037.00

Date: 01/03/2020

Drawing Number:

L3.00

PLANT SCHEDULE

Trees

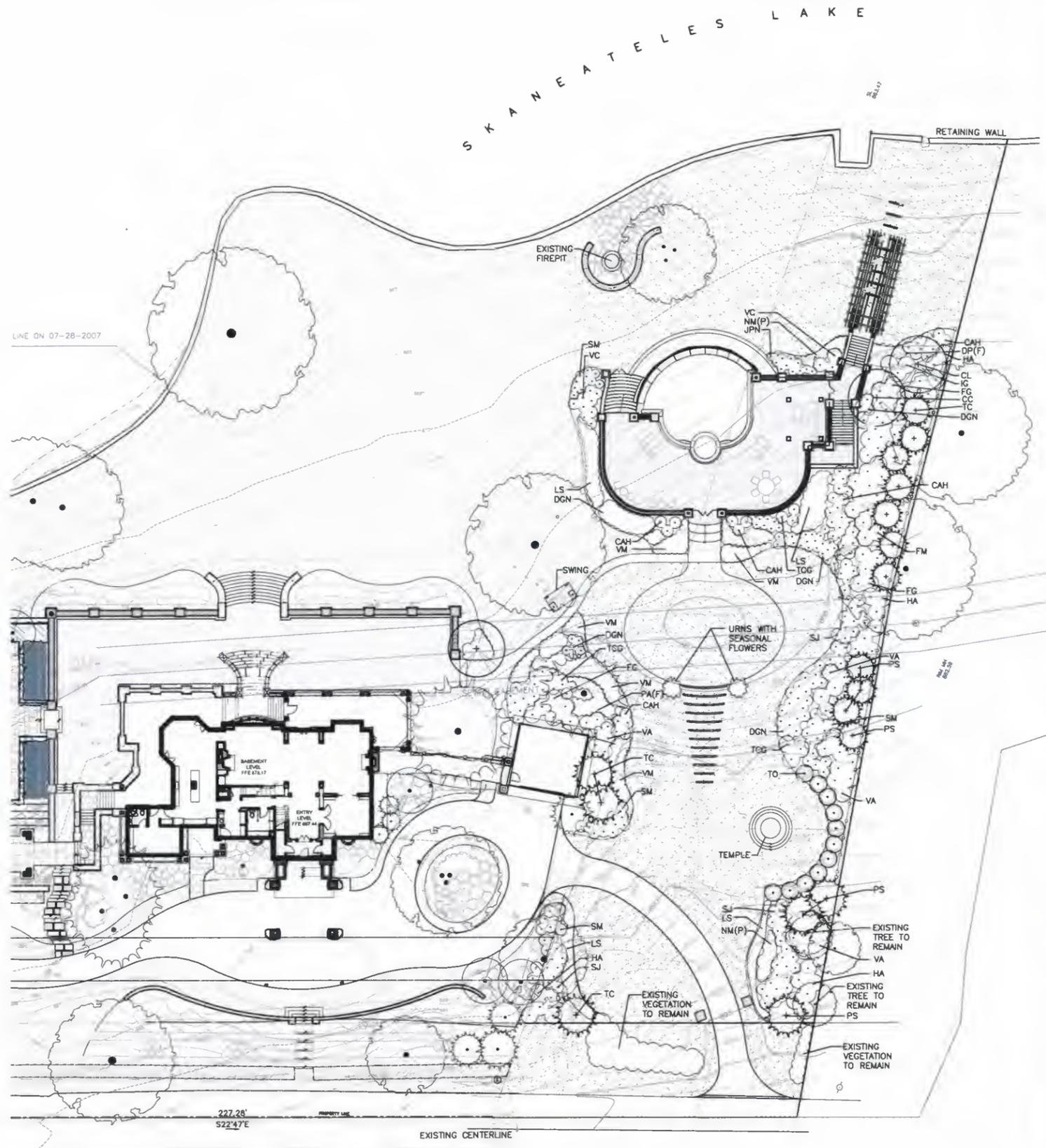
SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
CC	<i>Cercis canadensis</i>	Redbud	8'-10' ht.	B&B
CL	<i>Cladastic kentukea</i>	Yellowwood	4 1/2"-5" Cal.	B&B
PS	<i>Pinus strobus</i>	White Pine	8'-10' ht.	B&B
TC	<i>Tsuga canadensis</i>	Canadian Hemlock	8'-10' ht.	B&B
TO	<i>Thuja occidentalis 'Nigra'</i>	Arborvitae	8'-10' ht.	B&B

Shrubs

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
CAH	<i>Clethra alnifolia 'Hummingbird'</i>	Dwarf Summersweet	2 1/2'-3' sp.	CG
DGN	<i>Deutzia gracilis 'Nikko'</i>	Dwarf Slender Deutzia	18"-24" sp.	CG
FG	<i>Fothergilla gardenii</i>	Dwarf Fothergilla	3-3 1/2' sp.	CG
FM	<i>Fothergilla major</i>	Witch-elder	3 1/2'-4' sp.	CG
IG	<i>Ilex glabra 'Shamrock'</i>	Compact Shamrock Inkberry	3'-3 1/2' ht.	CG
JPN	<i>Juniperus procumbens 'Nana'</i>	Japanese Garden Juniper	2'-2 1/2' sp.	CG
HA	<i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Hydrangea	5 gal.	CG
SJ	<i>Spiraea japonica 'Shirobana'</i>	Japanese Meadowsweet	2'-2 1/2' ht.	CG
SM	<i>Syringa meyeri</i>	Meyer Lilac	2'-2 1/2' ht.	CG
TCG	<i>Taxus cuspidata 'Green Wave'</i>	Dwarf Spreading Yew	2 1/2'-3' sp.	CG
VA	<i>Viburnum rhytidophyloides 'Allegheny'</i>	Allegheny Viburnum	4'-4 1/2' ht.	CG
VC	<i>Viburnum carlesii</i>	Koreanspice Viburnum	3'-3 1/2' ht.	CG

Perennials/ Ferns/ Groundcovers

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
DP(F)	<i>Dennstadia punctiloba</i>	Hayscented Fern	1 gal.	CG
LS	<i>Liriope spicata</i>	Lilyturf	1 gal.	CG
NM(P)	<i>Nepeta mussinii</i>	Catnip	1 gal.	CG
PA(F)	<i>Polystichum acrostichoides</i>	Christmas Fern	1 gal.	CG
VM	<i>Vinca minor</i>	Vinca	1 gal.	CG



NOTE: EXISTING VEGETATION WILL BE MAINTAINED TO PRESERVE VIEWS OF THE LAKE.

Private Residence
Pool Deck

61 W Lake Street, Skaneateles, New York

Issue Dates and Revisions:
01/03/2020 Permit Set
Final Submission



Drawing Title:

Planting
Diagram

Drawn: FP

Checked: MP

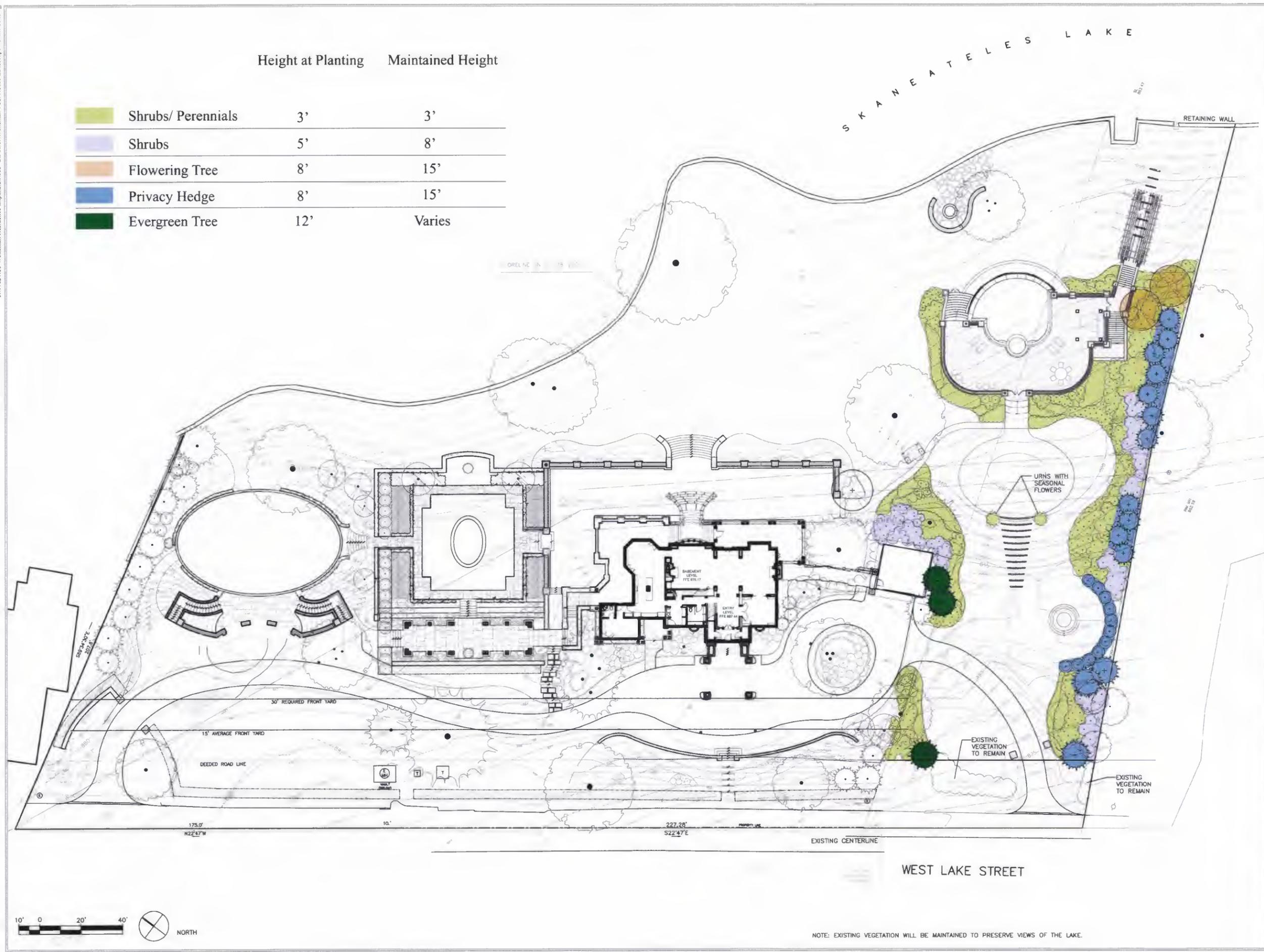
Project Number: 17037.00

Date: 01/03/2020

Drawing Number:

L3.10

	Height at Planting	Maintained Height
 Shrubs/ Perennials	3'	3'
 Shrubs	5'	8'
 Flowering Tree	8'	15'
 Privacy Hedge	8'	15'
 Evergreen Tree	12'	Varies



NOTE: EXISTING VEGETATION WILL BE MAINTAINED TO PRESERVE VIEWS OF THE LAKE.

Lot Coverage/ Open Space 225: A5

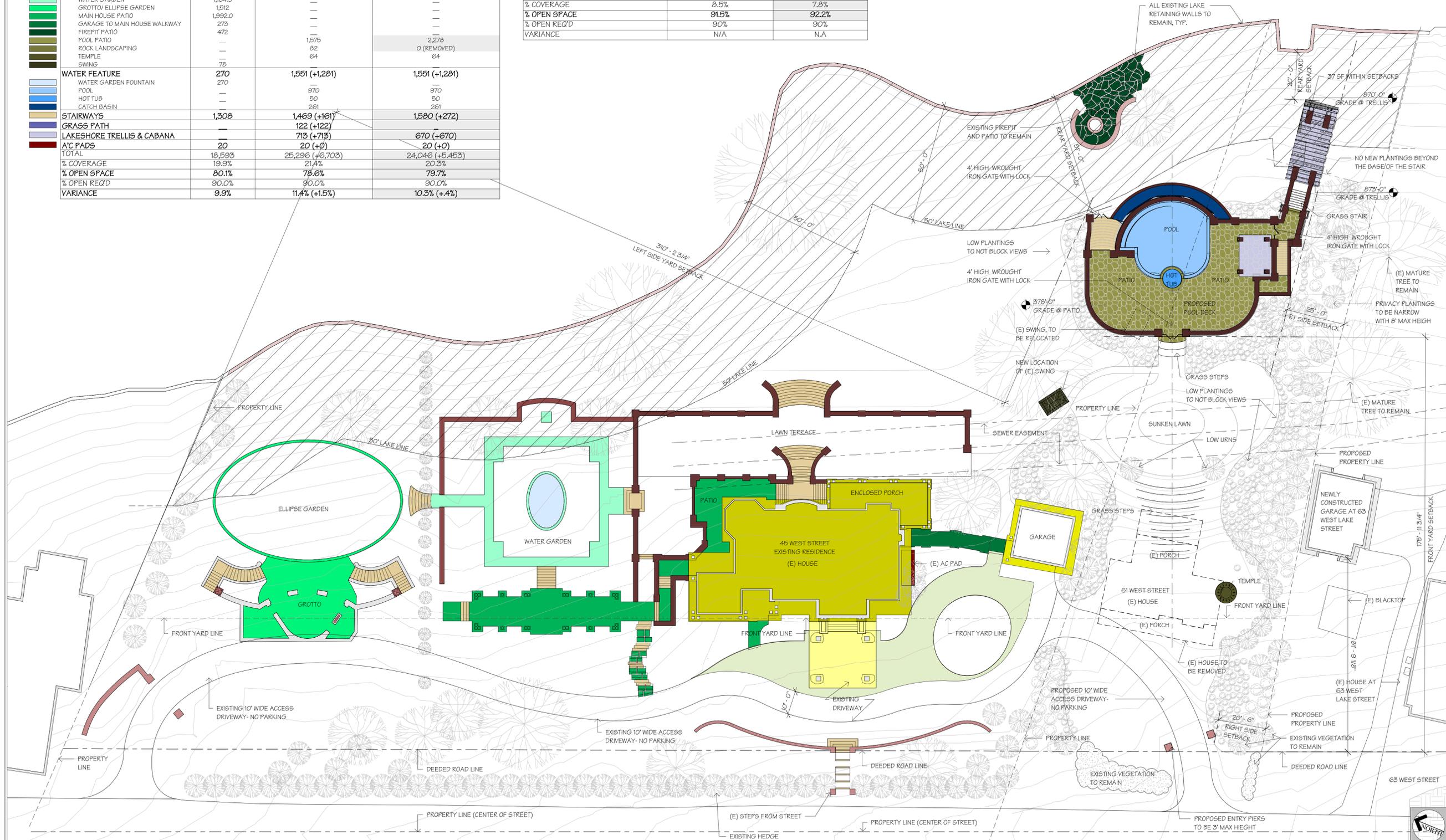
	EXISTING (SF)	PREVIOUSLY PROPOSED OPTION WITH POOL HOUSE (SF)	CURRENT PROPOSAL WITHOUT POOL HOUSE (SF)
LOT AREA TO STREET LINE	93,544.5	118,222 (+24,677.5)	118,222 (+24,677.5)
BUILDINGS	6,627	8,444 (+1,817)	6,627 (+0)
MAIN HOUSE	4,890	—	—
GARAGE	829	—	—
PORTE COCHERE	808	—	—
POOL HOUSE (REMOVED FROM SCOPE)	—	1,817	0 (REMOVED)
SITE WALLS	2,638.5	3,417.5 (+779)	3,526.5 (+888)
LAKESHORE RETAINING WALL	696.5	111	111
FIREPIT RETAINING WALL	120	—	—
FRONT YARD WALLS	282	18	18
GROTTO WALLS	414	—	—
WATER GARDEN WALLS	318	—	—
LAWN TERRACE & PATIO WALLS	808	—	—
POOL/ POOL HOUSE WALLS	—	650	759
PATIO/ PAVED AREAS	7,729.5	9,539.5 (+1,810)	10,071.5 (+2,342)
DRIVEWAY (NON ACCESS USE)	2,218	—	0 (REMOVED)
DOCK RAMP	—	89	—
WATER GARDEN	1,184.5	—	—
GROTTO/ ELLIPSE GARDEN	1,512	—	—
MAIN HOUSE PATIO	1,992.0	—	—
GARAGE TO MAIN HOUSE WALKWAY	273	—	—
FIREPIT PATIO	472	—	—
POOL PATIO	—	1,575	2,278
ROCK LANDSCAPING	—	82	0 (REMOVED)
TEMPLE	—	—	64
SWING	78	—	—
WATER FEATURE	270	1,551 (+1,281)	1,551 (+1,281)
WATER GARDEN FOUNTAIN	270	—	—
POOL	—	970	970
HOT TUB	—	50	50
CATCH BASIN	—	261	261
STAIRWAYS	1,308	1,469 (+161)	1,580 (+272)
GRASS PATH	—	122 (+122)	—
LAKESHORE TRELIS & CABANA	—	713 (+713)	670 (+670)
AC PADS	20	20 (+0)	20 (+0)
TOTAL	18,593	25,296 (+6,703)	24,046 (+5,453)
% COVERAGE	19.9%	21.4%	20.3%
% OPEN SPACE	80.1%	78.6%	79.7%
% OPEN REQ'D	90.0%	90.0%	90.0%
VARIANCE	9.9%	11.4% (+1.5%)	10.3% (+.4%)

Lakeshore Lot Coverage/ Open Space 225: 20

	PREVIOUSLY PROPOSED OPTION WITH POOL HOUSE (SF)	CURRENT PROPOSAL WITHOUT POOL HOUSE (SF)
LOT AREA FROM LAKESHORE TO 50'	29,149	29,149
SITE WALLS	1,224	1,224
LAKESHORE RETAINING WALL	808	808
FIREPIT RETAINING WALL	120	120
WATER GARDEN WALLS	221	221
LAWN TERRACE & PATIO WALLS	46	46
POOL/ POOL HOUSE WALLS	29	29
PATIO/ PAVED AREAS	776	776
WATER GARDEN	246	246
GROTTO/ ELLIPSE GARDEN	58	58
FIREPIT PATIO	472	472
DOCK	89	0 (REMOVED)
GRASS PATH	122	0 (REMOVED)
LAKESHORE TRELIS	280	280
TOTAL	2,491	2,280
% COVERAGE	8.5%	7.8%
% OPEN SPACE	91.5%	92.2%
% OPEN REQ'D	90%	90%
VARIANCE	N/A	N/A

Zoning Requirements

	REQUIRED	PROPOSED
OPEN AREA (SF) AS A % OF LOT AREA	90	79.7
FRONT YARD	30'	0'
LEFT SIDE YARD	25'	310' - 2"
RIGHT SIDE YARD	25'	20' - 6"
REAR YARD	50'	20'
MAX WIDTH OF STRUCTURE AS A % OF LOT WIDTH	55%	10.4%
MIN. LIVABLE FLOOR AREA	1,200	N/A
MAX BUILDING HEIGHT	35'	N/A



1 Site Plan
1" = 20'

MEYER & MEYER
ARCHITECTURE AND INTERIORS

F: 617.266.2952
T: 617.266.0555
390 Commonwealth Avenue
Boston, Massachusetts 02215

Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set Final Submission January 3, 2020

General Notes:
General Contractor shall make all Subcontractors and Suppliers aware of the requirements of these notes.
All work shall be performed in compliance with all applicable Local, State and National Building, Life Safety and Electrical Codes.
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General Contractor shall coordinate the dimensional requirements between the work of the various trades.
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Registration:

Drawing Title:
Site Plan - Lot Coverage Calculations

Drawn: L.S.
Checked: J.M.
Project Number: 93480
Date: January 3, 2020
Drawing Number:

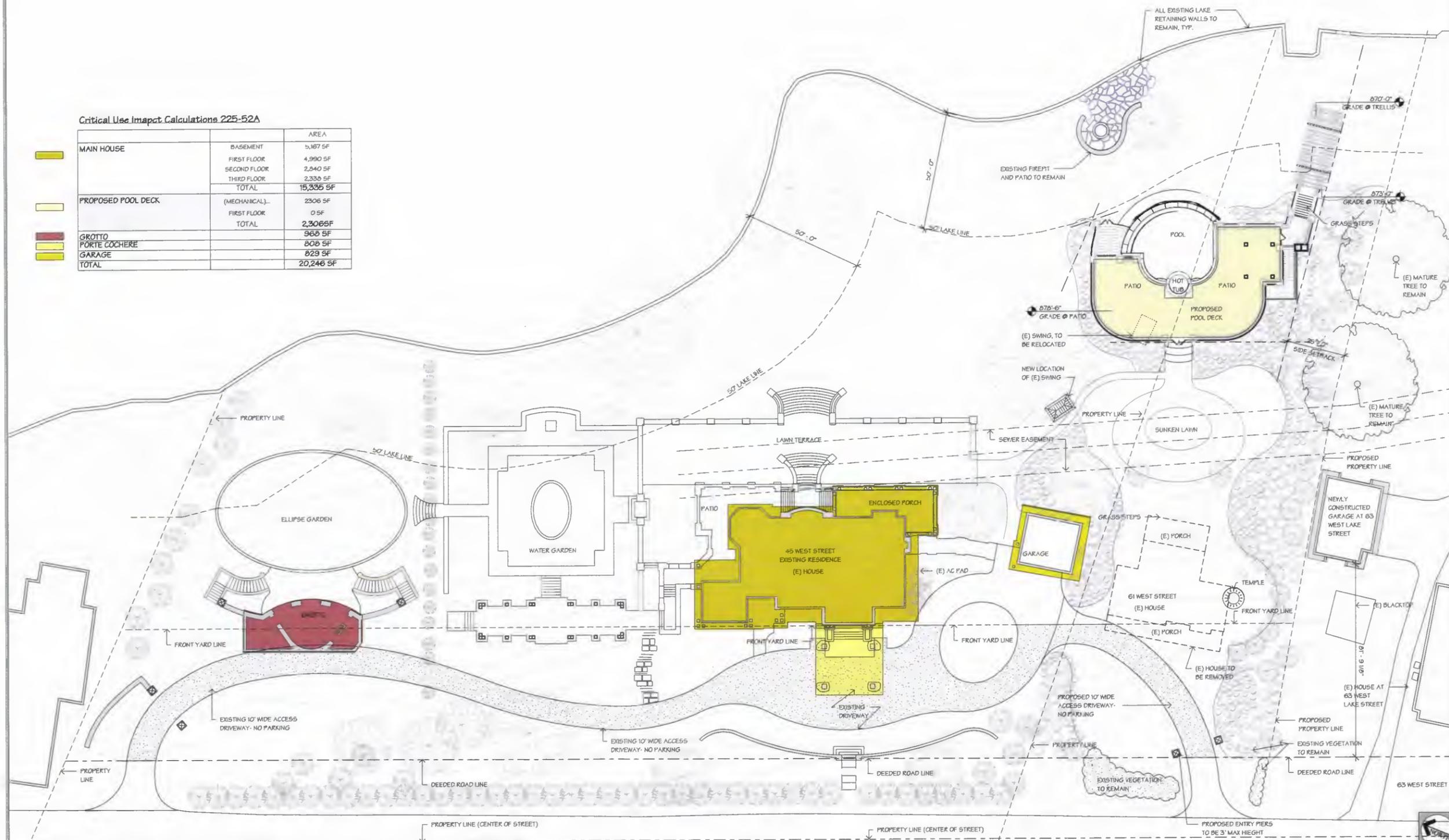
Z1.00

Front Yard Coverage Calculation

	EXISTING (SF)	PROPOSED (SF)
FRONT YARD AREA	22,701	28,263
DRIVEWAY	6,732	7,534 (+802)
PATIO/PAVED AREAS	567	567
TOTAL	7,299	8,101 (+802)
% COVERAGE	32.1%	28.6%
% OPEN SPACE	67.9%	71.4%
% OPEN REQ'D	75.0%	75.0%
VARIANCE	7.1%	3.6%

Critical Use Impact Calculations 225-52A

		AREA
MAIN HOUSE	BASEMENT	5,187 SF
	FIRST FLOOR	4,990 SF
	SECOND FLOOR	2,940 SF
	THIRD FLOOR	2,335 SF
	TOTAL	15,335 SF
PROPOSED POOL DECK	(MECHANICAL)	2306 SF
	FIRST FLOOR	0 SF
	TOTAL	2,306 SF
GROTTO		965 SF
PORTE COCHERE		808 SF
GARAGE		829 SF
TOTAL		20,246 SF



MEYER & MEYER
 ARCHITECTURE AND INTERIORS
 111 W. 42nd St.
 New York, NY 10036
 Tel: 212-695-9000
 Fax: 212-695-9001
 www.meyerandmeyer.com

Project:
Private Pool House
 45 West Lake St,
 Skaneateles NY

Issue Dates and Revisions:

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Drawing Title:
Site Plan - Critical Impact Calculations

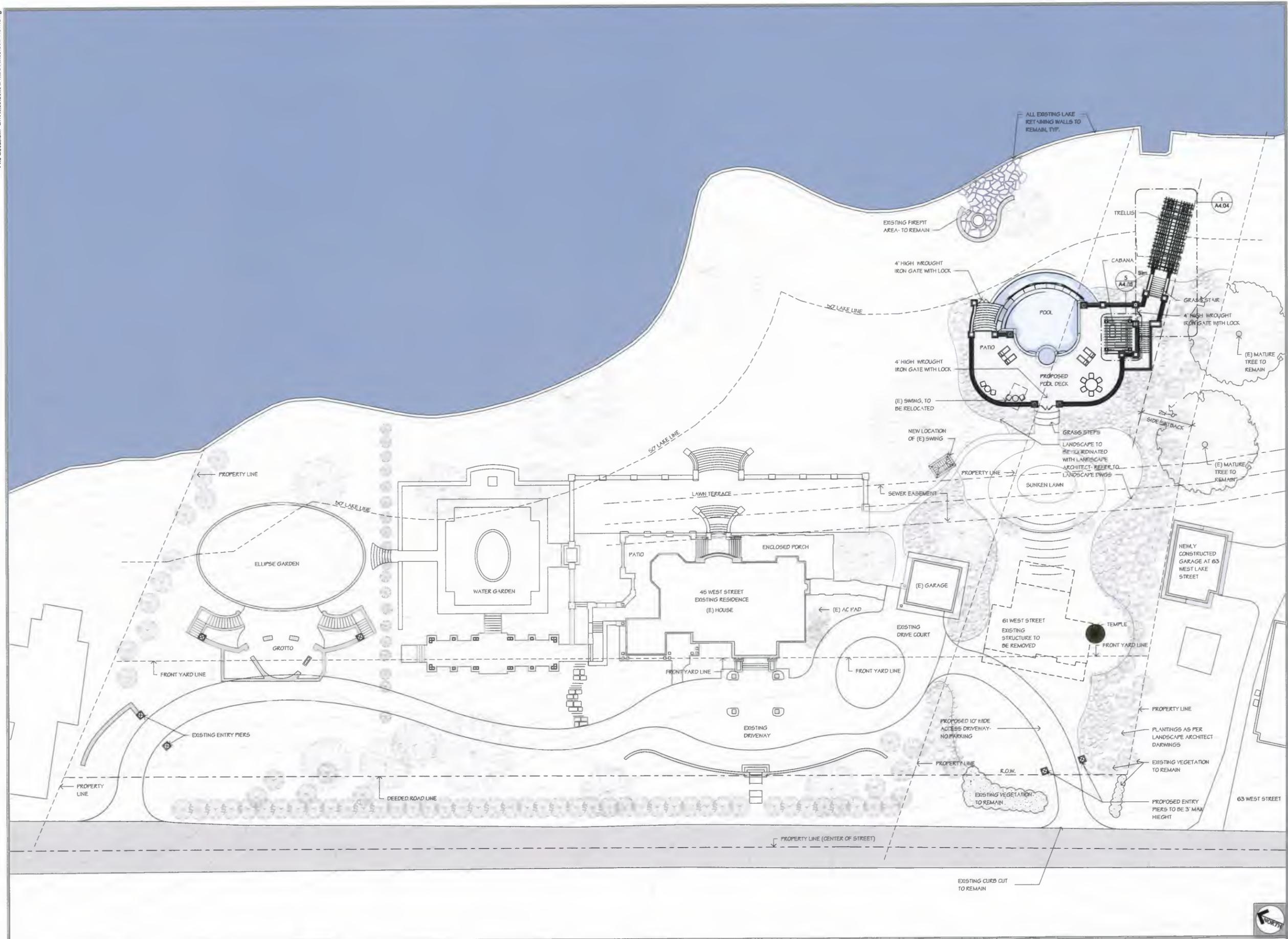
Drawn: Author
 Checked: Checker
 Project Number: 93480
 Date: January 3, 2020
 Drawing Number:

Z1.01

Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

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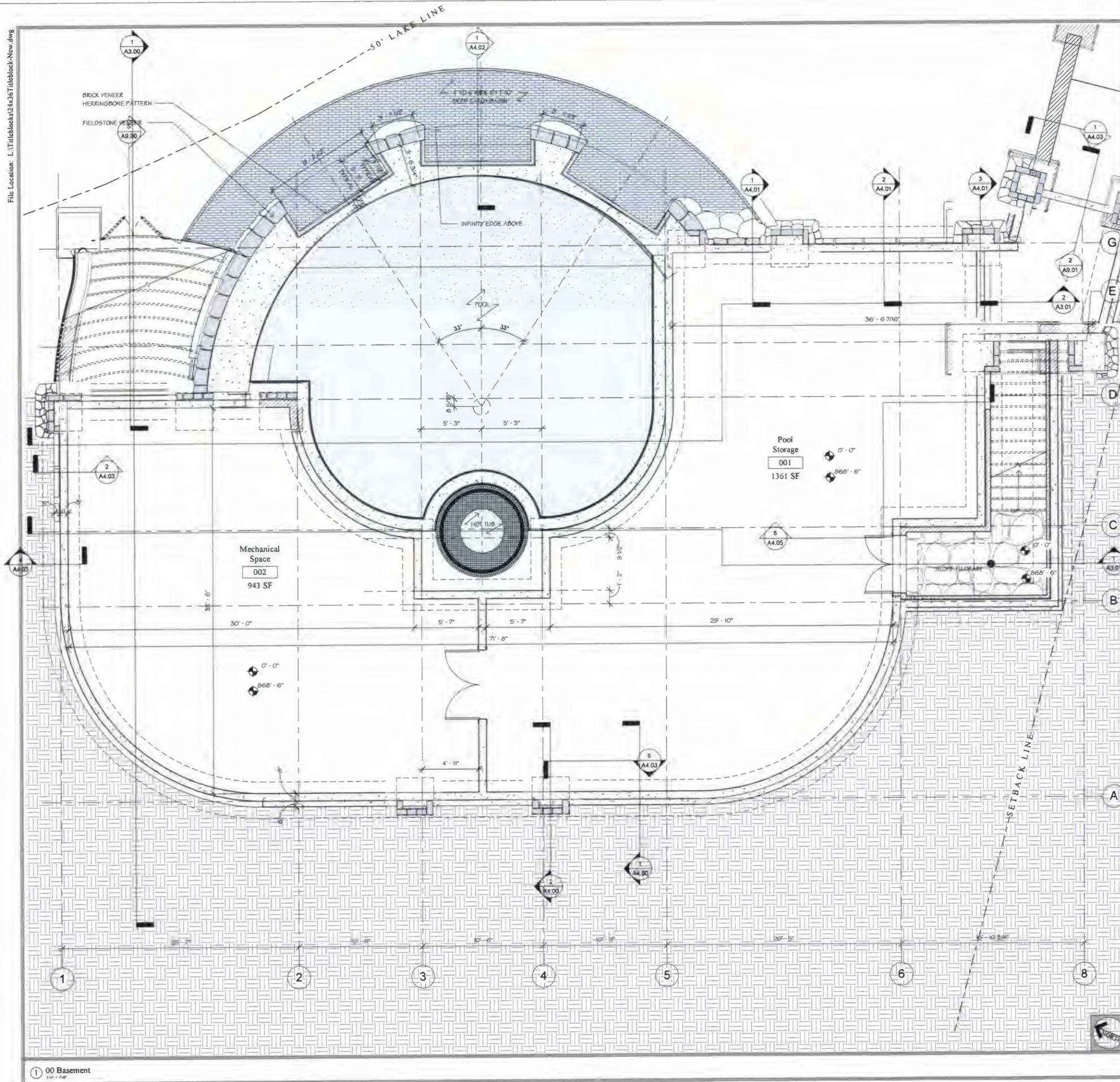


Drawing Title:
Site Plan

Drawn: Author
Checked: Checker
Project Number: 93480
Date: January 3, 2020
Drawing Number:

A0.10

File Location: L:\Tribblehoek\14367\Tribblehoek-New.dwg



GENERAL CONSTRUCTION NOTES

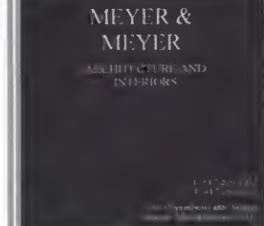
- TYPICAL WALL AND CEILING ASSEMBLIES:
 - UNLESS OTHERWISE NOTED, ALL NEW AND/OR PATCHED INTERIOR WALL CONSTRUCTION SHALL BE 2" X 6" WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BASE AND 1/8" SKIM COAT PLASTER FINISH ON BOTH SIDES OF STUDS, TYP. REFER TO FINISH SCHEDULE FOR TRIM & WALL FINISHES.
 - NEW AND/OR PATCHED CEILINGS SHALL BE 5/8" GYPSUM BASE WITH 1/8" SKIM COAT PLASTER.
- G.C. SHALL BE RESPONSIBLE FOR PROVIDING WOOD BLOCKING AS REQUIRED FOR ALL ITEMS INCLUDING BUT NOT LIMITED TO CLOSET POLES, BUILT-INS, CABINETS, SHELVING, BATHROOM ACCESSORIES AND DECORATIVE LIGHTING.
- ALL NEW WALL CONSTRUCTION AND/OR WALL, CEILING, AND FLOOR INFILL THAT TIES INTO EXISTING CONSTRUCTION SHALL BE FURRED OUT AS REQUIRED TO ALIGN WITH EXISTING ADJACENT OR ABUTTING. ALL SEAMS AND JOINTS SHALL BE FULLY CONCEALED, TYPICAL THROUGHOUT.
- PATCHED WOOD FLOORING SHALL BE TOOTHED INTO EXISTING ADJACENT FLOORING, TYPICAL THROUGHOUT U.N.O.
- ALL GYPSUM BASE AT WET WALLS OF POWDER ROOM SIDE OF STUDS SHALL BE MOISTURE RESISTANT WITH 1/8" SKIM COAT PLASTER FINISH.
- G.C. SHALL BE RESPONSIBLE FOR PROVIDING CONTINUOUS R-19 BATT INSULATION IN BATHROOM WALLS, CEILING AND FLOORS, TO INSURE ACOUSTICAL INSULATION.
- INTERIOR PAINTING SHALL INCLUDE ALL 'PREP' WORK, ONE COAT PRIMER, AND TWO COATS FINISH. WALLS AND CEILINGS SHALL BE LATEX, U.N.O.
- AT ALL STONE/TILE WORK, G.C. SHALL FULLY COORDINATE ALL JOINT AND SEAM LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION. ALL TILE TO BE PROVIDED AND INSTALLED BY G.C. PER OWNER'S SELECTIONS.
- ALL BATHROOM ACCESSORIES SHALL BE SELECTED BY OWNER, FURNISHED AND INSTALLED BY G.C. ALL MIRRORS AND MEDICINE CABINETS SHOWN SHALL BE CARRIED IN BASE BID (U.N.O.). G.C. TO PROVIDE BLOCKING BEHIND FIXTURES (TYP.) AT ALL CLOSETS AND COAT CLOSETS, DASHED LINE INDICATES SHELF WITH ROD UNLESS OTHERWISE DETAILED.
- G.C. IS RESPONSIBLE FOR REPAIRS FOR ANY DAMAGE TO NEW OR EXISTING ITEMS DUE TO CONSTRUCTION WORK, TYPICAL. FULLY PROTECT EXISTING WOOD FLOORS DURING CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR REPAIRING ANY DAMAGES, NICKS, SCRATCHES.
- LANDSCAPING IS PART OF A SEPARATE CONTRACT. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS.
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- G.C. SHALL PROTECT EXISTING MECHANICAL, ELECTRICAL AND PLUMBING WORK IN PLACE AND COORDINATE NEW WORK WITH M.E.P. CONTRACTORS, TYPICAL.
- G.C. TO PROTECT/COVER DUCT WORK OPENINGS FROM DEBRIS PENETRATION. DUCT WORK TO BE CLEANED PRIOR TO COMPLETION.

PLUMBING

- PROVIDE, INSTALL, AND WARRANTY PLUMBING FIXTURES REFER TO PLUMBING FIXTURE SCHEDULE FOR ALL MODELS; TYP.
- PROVIDE NEW PVC STACKS TO NEW FIXTURE LOCATIONS. CONFIRM LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE NEW COPPER WATER SUPPLY PIPING
- TEST WATER PRESSURE TO SUPPORT NEW FIXTURE SCHEDULE. PROVIDE BOOSTER AS NECESSARY TO REACH REQUIRED LEVEL BY CODE.

MECHANICAL/ELECTRICAL EQUIPMENT

- G.C. TO COORD. EQUIPMENT, PIPING, FILTERS & ELECTRICAL CONNECTIONS ETC., LOCATIONS WITH ARCH PRIOR TO ANY INSTALL. OF EQUIPMENT.



Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

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General Construction Notes

PLAN LEGEND

Room name	ROOM TAG	DETAIL #
101	101	SECTION TAG
150 SF		SHEET #
R.D.	ROOF DRAIN	DETAIL #
U.N.O.	UNLESS NOTED OTHERWISE	EXTERIOR ELEVATION TAG
CL	CENTERLINE	SHEET #
A.F.F.	ABOVE FINISHED FLOOR	DETAIL #
G.C.	GENERAL CONTRACTOR	INTERIOR ELEVATION TAG
V.I.F.	VERIFY IN FIELD	SHEET #
---	WALL TYPE; REFER TO A1.10	DETAIL #
[Symbol]	SHOWER HEAD	ENLARGED PLAN KEY
[Symbol]	RECESSED FIRE EXTINGUISHER CABINET	SHEET #
[Symbol]	LINEAR DRAIN - REFER TO PLUMBING SCHEDULE	WINDOW TAG; REFER TO WINDOW SCHEDULE A7.01 & A7.02
[Symbol]	DIMENSION TO FACE OF STUD	DOOR TAG; REFER TO DOOR SCHEDULE A7.06
[Symbol]	DIMENSION TO FINISH FACE	

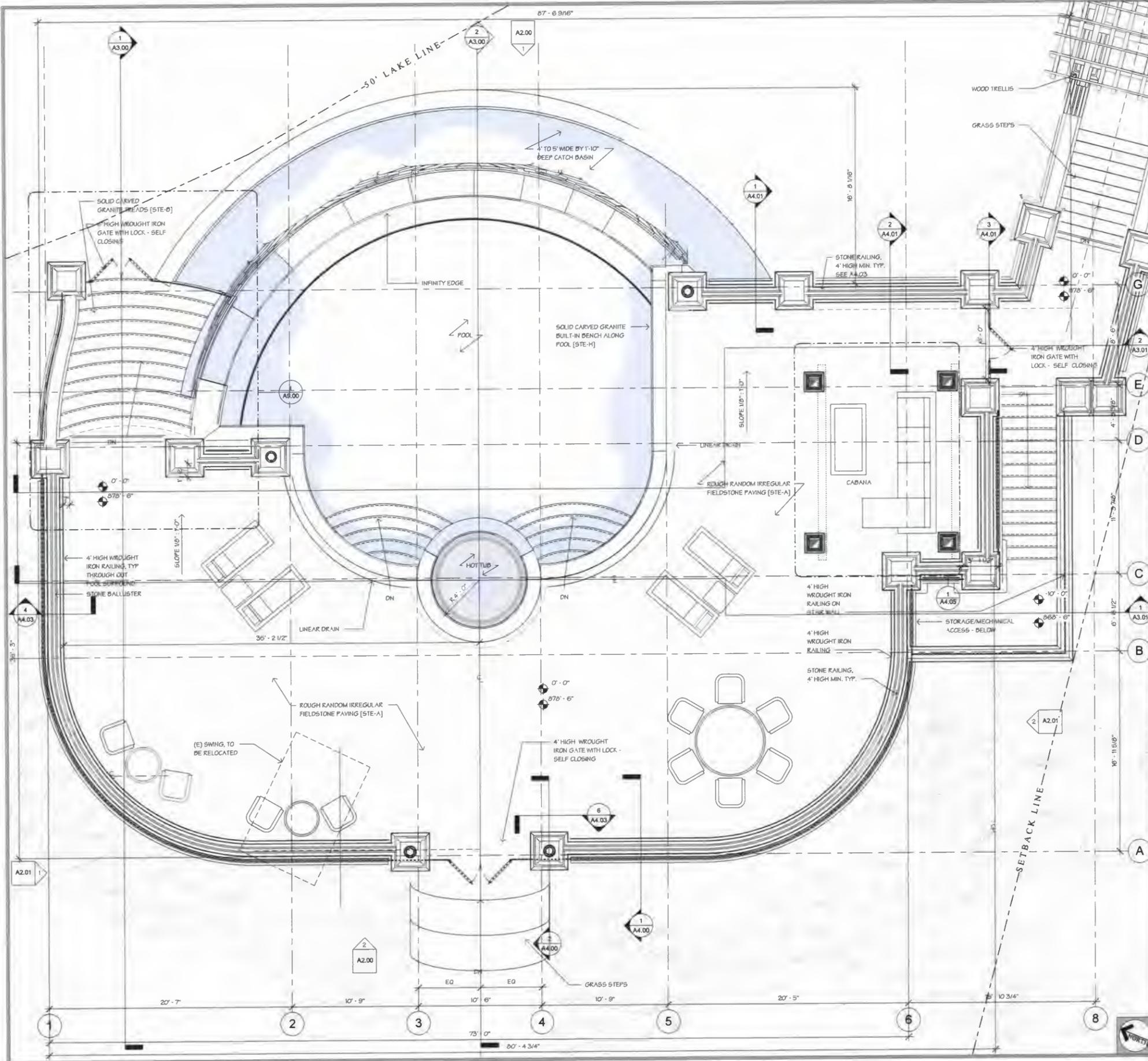
Plan Legend

Registration:

Drawing Title:
Basement Plan

Drawn: Author
Checked: Checker
Project Number: 93480
Date: January 3, 2020
Drawing Number:

A1.00



GENERAL CONSTRUCTION NOTES

1. TYPICAL WALL AND CEILING ASSEMBLIES:
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 - B. NEW AND/OR PATCHED CEILINGS SHALL BE 5/8" GYPSUM BASE WITH 1/2" SKIM COAT PLASTER.
2. G.C. SHALL BE RESPONSIBLE FOR PROVIDING WOOD BLOCKING AS REQUIRED FOR ALL ITEMS INCLUDING BUT NOT LIMITED TO CLOSET POLES, BUILT-INS, CABINETS, SHELVING, BATHROOM ACCESSORIES AND DECORATIVE LIGHTING.
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6. G.C. SHALL BE RESPONSIBLE FOR PROVIDING CONTINUOUS R-19 BATT INSULATION IN BATHROOM WALLS, CEILING AND FLOORS, TO INSURE ACOUSTICAL INSULATION.
7. INTERIOR PAINTING SHALL INCLUDE ALL PREP WORK, ONE COAT PRIMER, AND TWO COATS FINISH. WALLS AND CEILINGS SHALL BE LATER, U.N.D.
8. AT ALL STONE/TILE WORK, G.C. SHALL FULLY COORDINATE ALL JOINT AND SEAM LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION. ALL TILE TO BE PROVIDED AND INSTALLED BY G.C. PER OWNER'S SELECTIONS.
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15. UNLESS OTHERWISE NOTED, DOOR JAMBS SHALL BE LOCATED 5" FROM ADJACENT WALL AND DOOR JAMBS.
16. G.C. SHALL PROTECT EXISTING MECHANICAL, ELECTRICAL AND PLUMBING WORK IN PLACE AND COORDINATE NEW WORK WITH M.E.P. CONTRACTORS, TYPICAL.
17. G.C. TO PROTECT/COVER DUCT WORK OPENINGS FROM DEBRIS PENETRATION. DUCT WORK TO BE CLEANED PRIOR TO COMPLETION.

- #### PLUMBING
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PLAN LEGEND

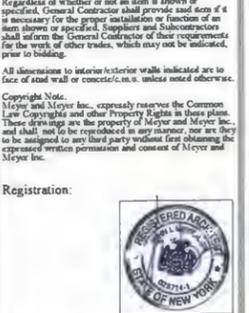
Room name	ROOM TAG	DETAIL #	SECTION TAG
101	150 SF		
R.D.	ROOF DRAIN		
U.N.O.	UNLESS NOTED OTHERWISE		
C	CENTERLINE		
A.F.F.	ABOVE FINISHED FLOOR		
G.C.	GENERAL CONTRACTOR		
V.I.F.	VERIFY IN FIELD		
	WALL TYPE; REFER TO A1.10		
	SHOWER HEAD		
FE	RECESSED FIRE EXTINGUISHER CABINET		
	LINEAR DRAIN - REFER TO PLUMBING SCHEDULE		
	DIMENSION TO FACE OF STUD		
	DIMENSION TO FINISH FACE		



Project:
Private Pool House
 45 West Lake St,
 Skaneateles NY

Issue Dates and Revisions:
 Permit Set January 3, 2020
 Final Submission

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Drawing Title:
First Floor Plan

Drawn: L.S.
 Checked: J.M.
 Project Number: 93480
 Date: January 3, 2020
 Drawing Number:

A1.10

Plan Legend

File Location: L:\Tiltblocks\34x36Tiltblock-New.dwg

MEYER & MEYER

ARCHITECTURE AND INTERIORS

Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

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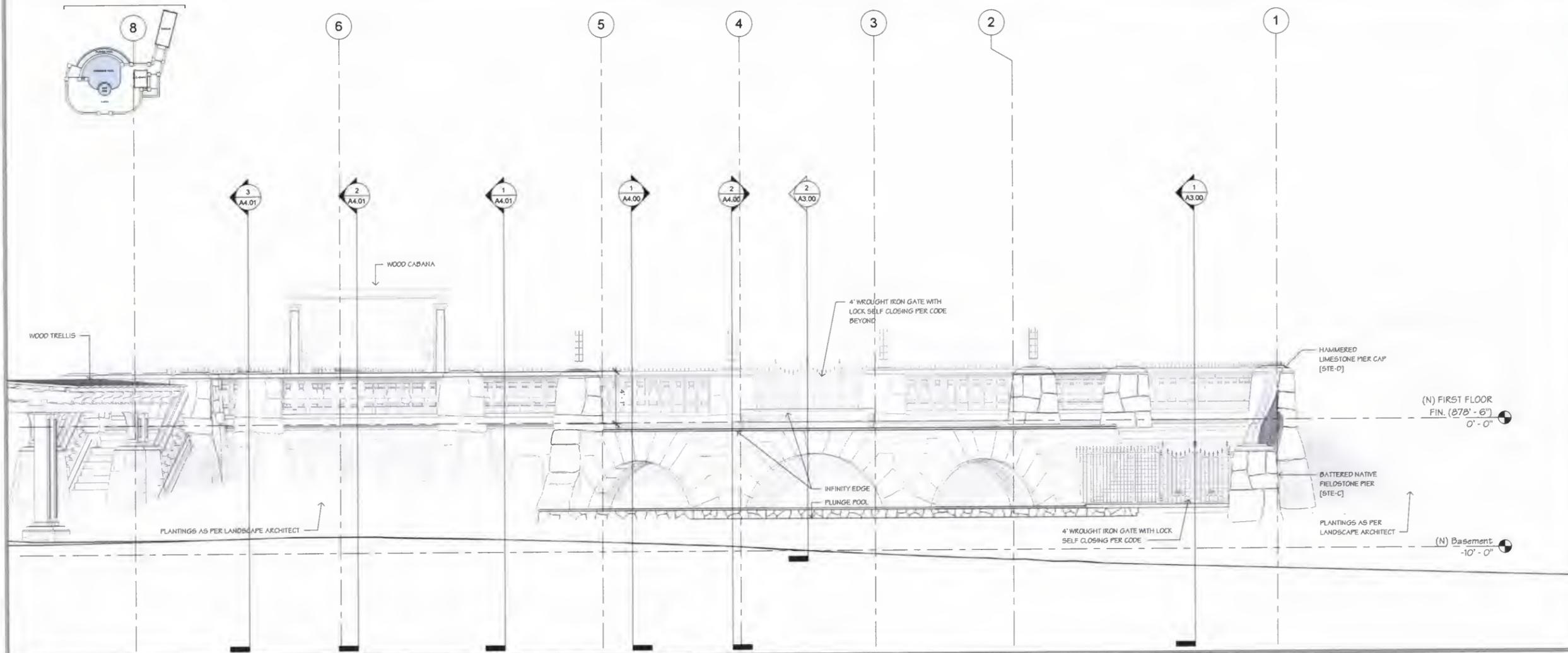
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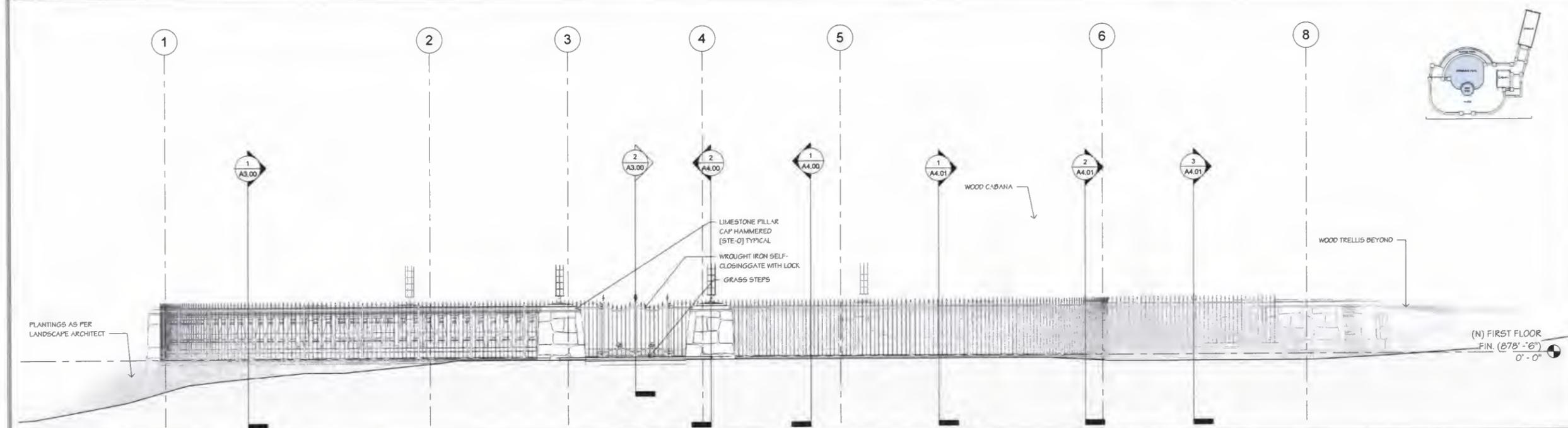
Drawing Title:
East and West Elevations

Drawn: L.S.
Checked: J.M.
Project Number: 93480
Date: January 3, 2020
Drawing Number:

A2.00



1 East Elevation (Lakeside)
1/8" = 1'-0"



2 West Elevation- Streetside
1/8" = 1'-0"

File Location: L:\Tilthbeck\2436Tilthbeck-New.dwg

MEYER & MEYER

ARCHITECTURE AND INTERIORS

1000 West 10th Street
New York, NY 10014
Tel: 212 246 1111
Fax: 212 246 1112
www.meyerandmeyer.com

Project:
Private Pool House

45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:

Permit Set January 3, 2020
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Registration:



Drawing Title:
North and South Elevations

Drawn: Author

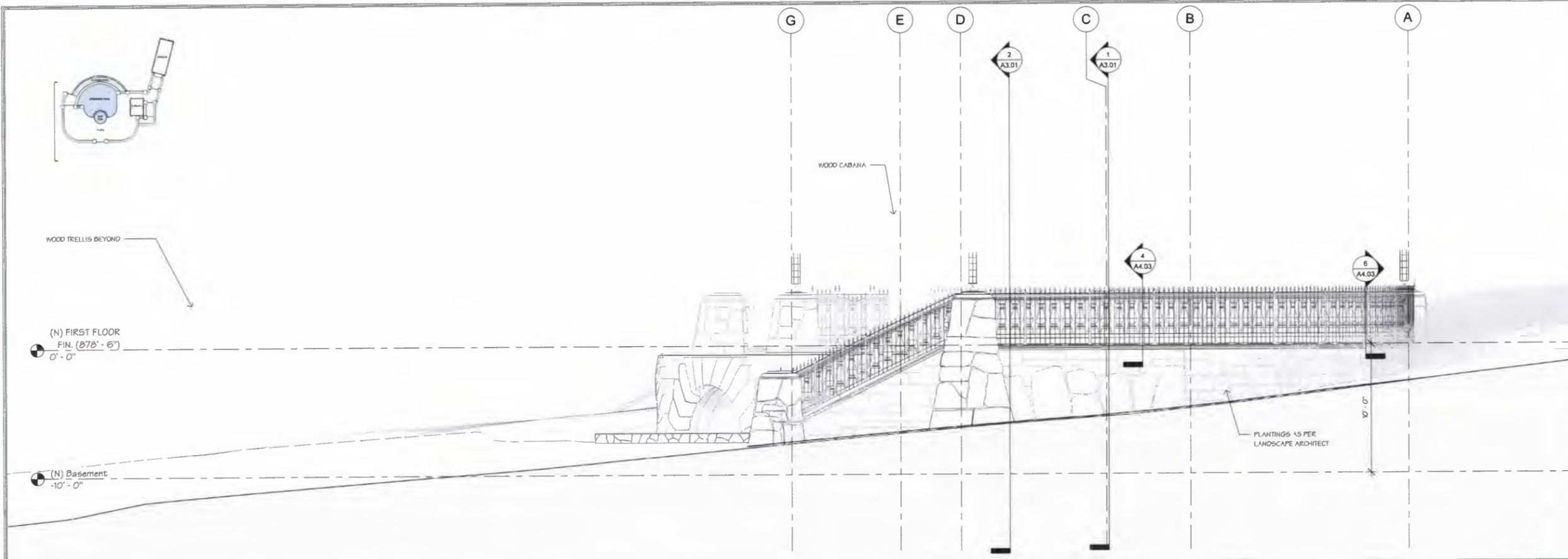
Checked: Checker

Project Number: 93480

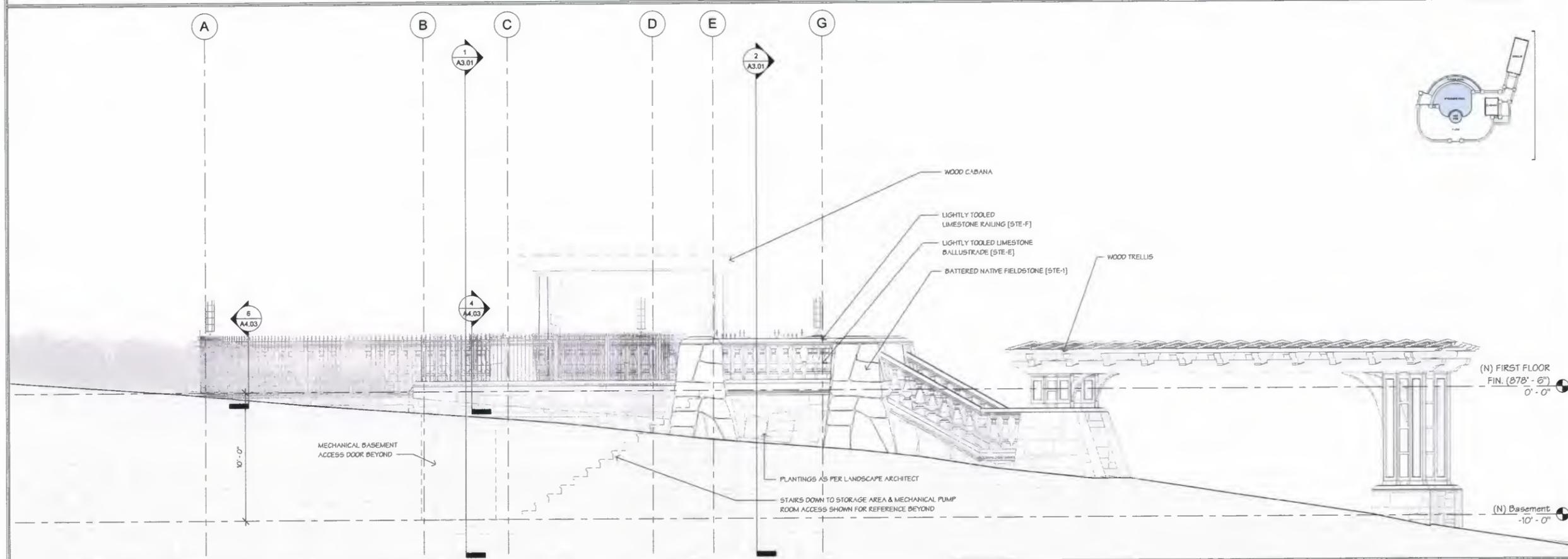
Date: January 3, 2020

Drawing Number:

A2.01



1 North Elevation (Main House Side)
1/8" = 1'-0"



2 South Elevation (Property Edge Side)
1/8" = 1'-0"

File Location: L:\Tilfileblocks\2\k367\Tilfileblock-New.dwg

Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

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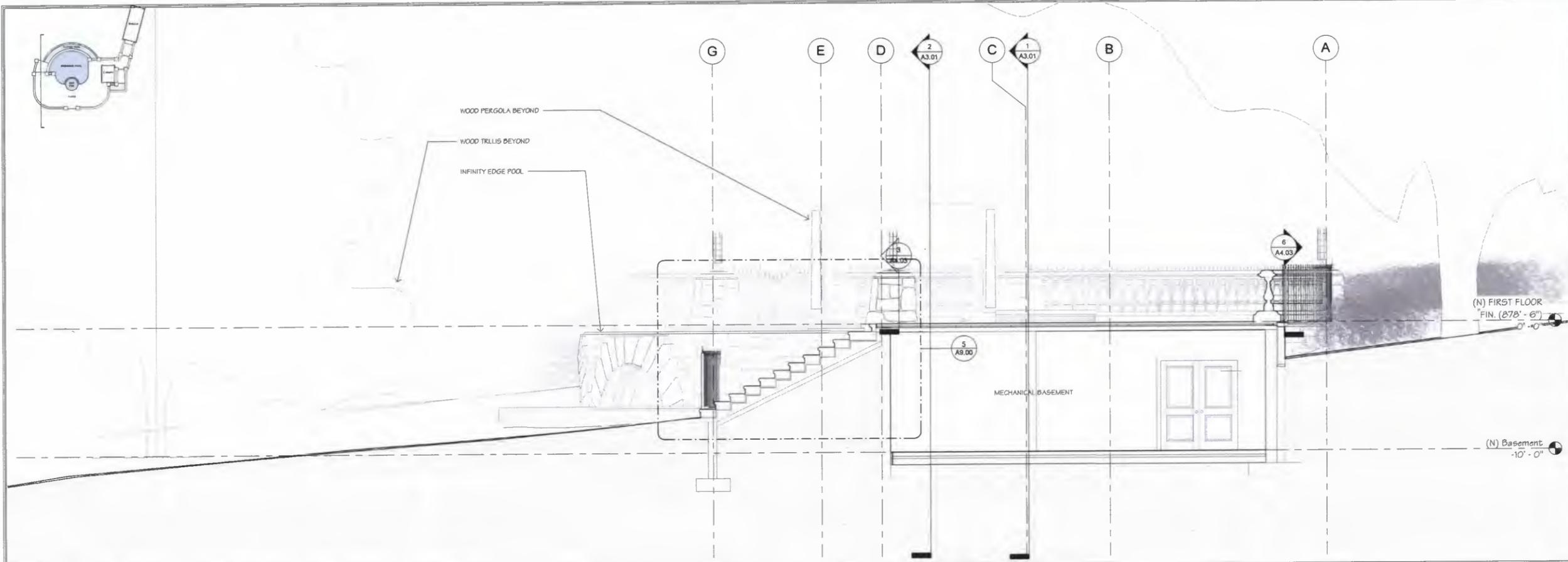
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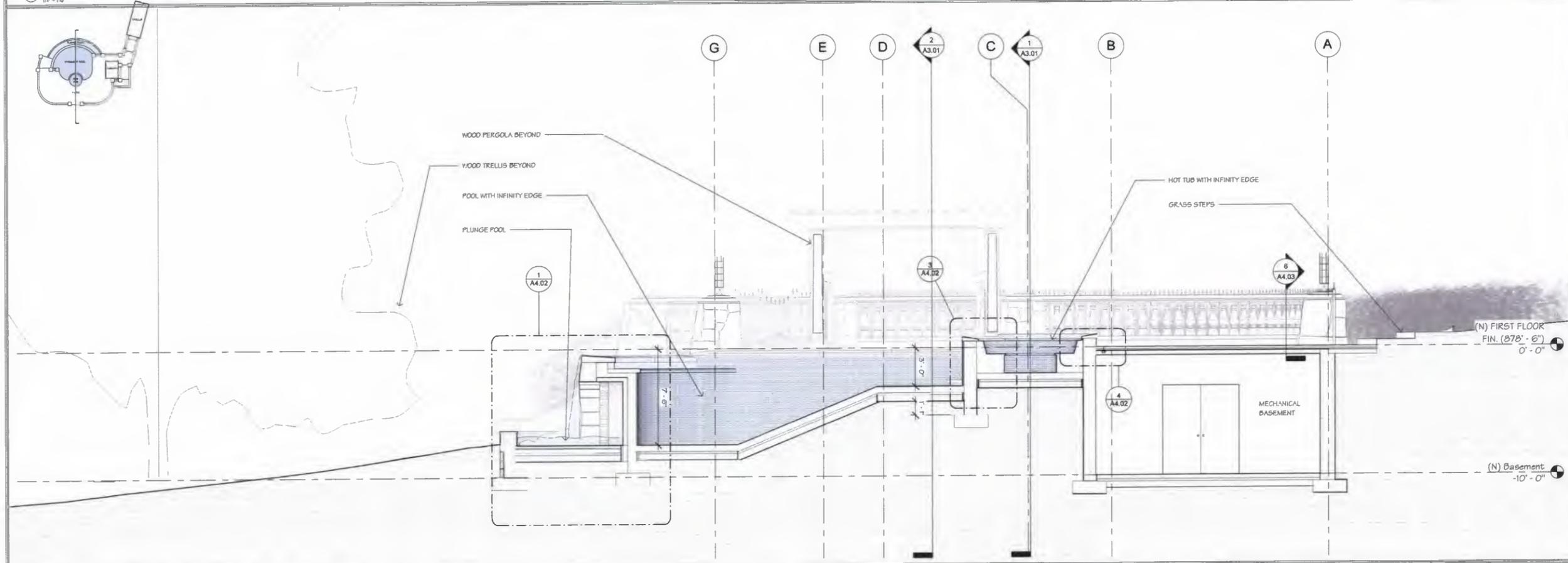
Drawing Title:
Building Sections

Drawn: L.S.
Checked: J.M.
Project Number: 93480
Date: January 3, 2020
Drawing Number:

A3.00



1 Cross Section 1 Looking South Through Exterior Stone Stair
1/4" = 1'-0"



2 Cross Section 2 Looking South Along Centerline
1/4" = 1'-0"

File Location: L:\Triblocks\2456\Triblock-New.dwg

Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

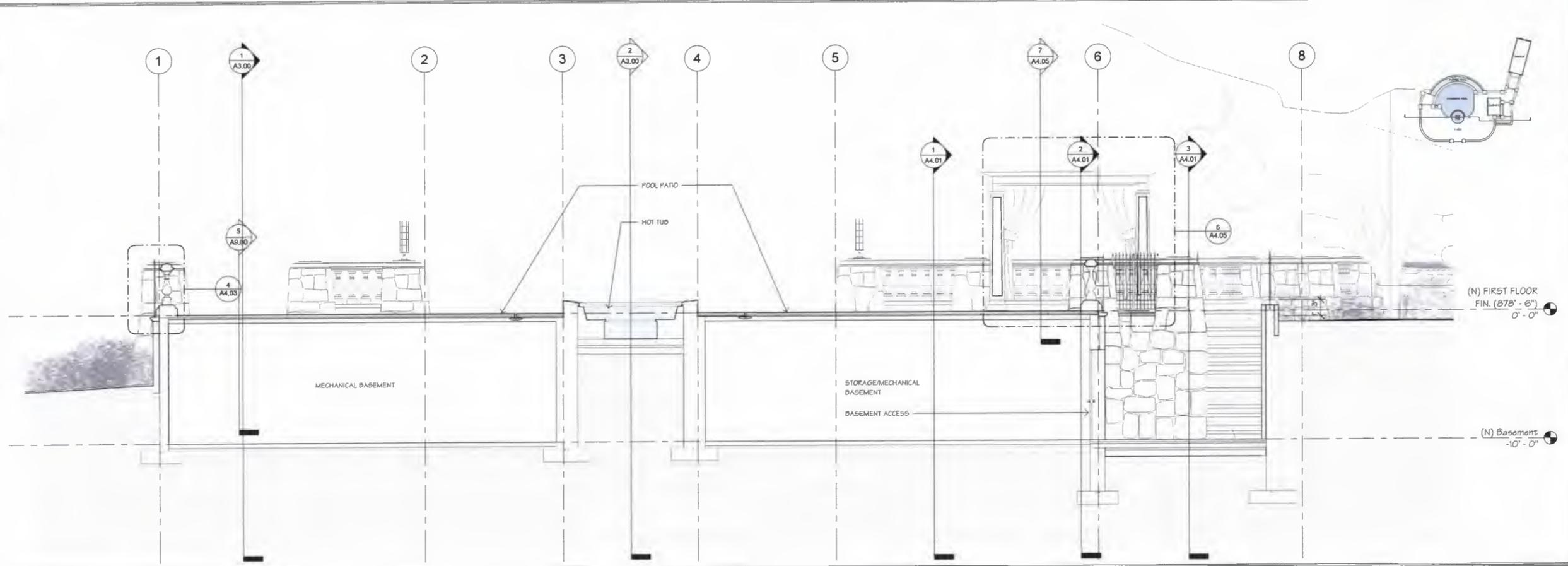
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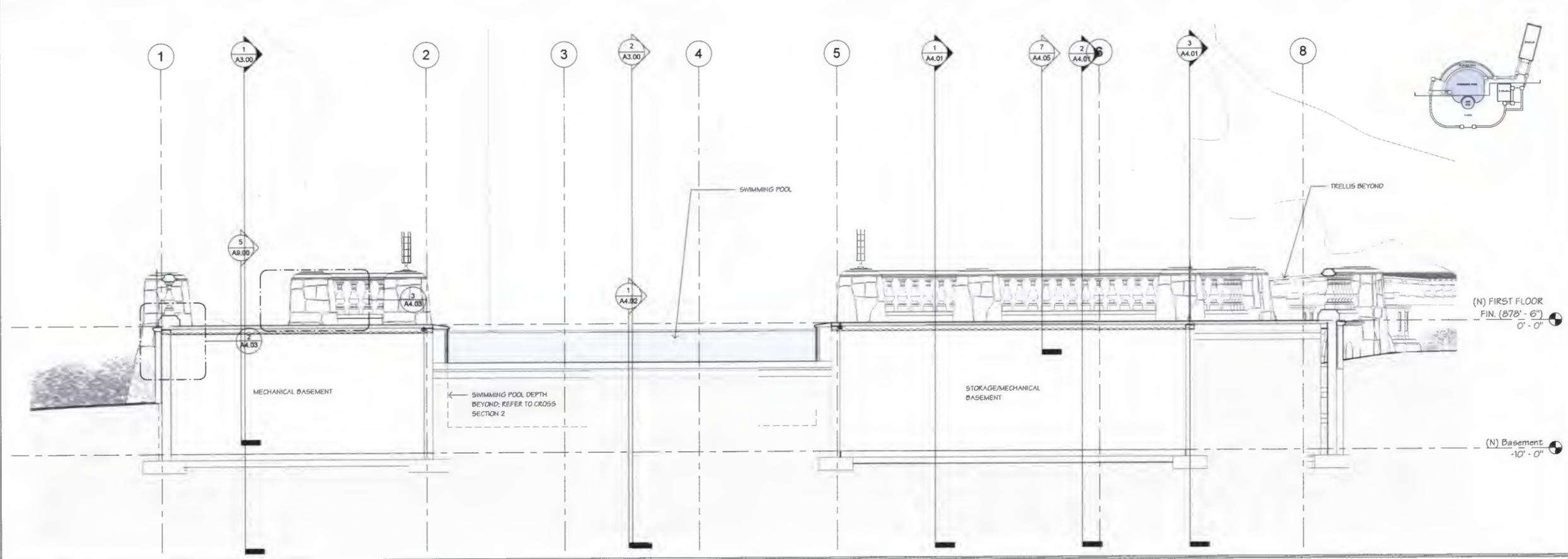
Registration:
Building Sections

Drawn: L.S.
Checked: J.M.
Project Number: 93480
Date: January 3, 2020
Drawing Number:

A3.01



1 Longitudinal Section 1 Looking East Cut Through Hot Tub
1/8" = 1'-0"



2 Longitudinal Section 2 Looking East Cut Through Pool
1/8" = 1'-0"

File Location: L:\Titledblocks\1436\Titledblock-New.dwg

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Private Pool House
45 West Lake St,
Skaneateles NY

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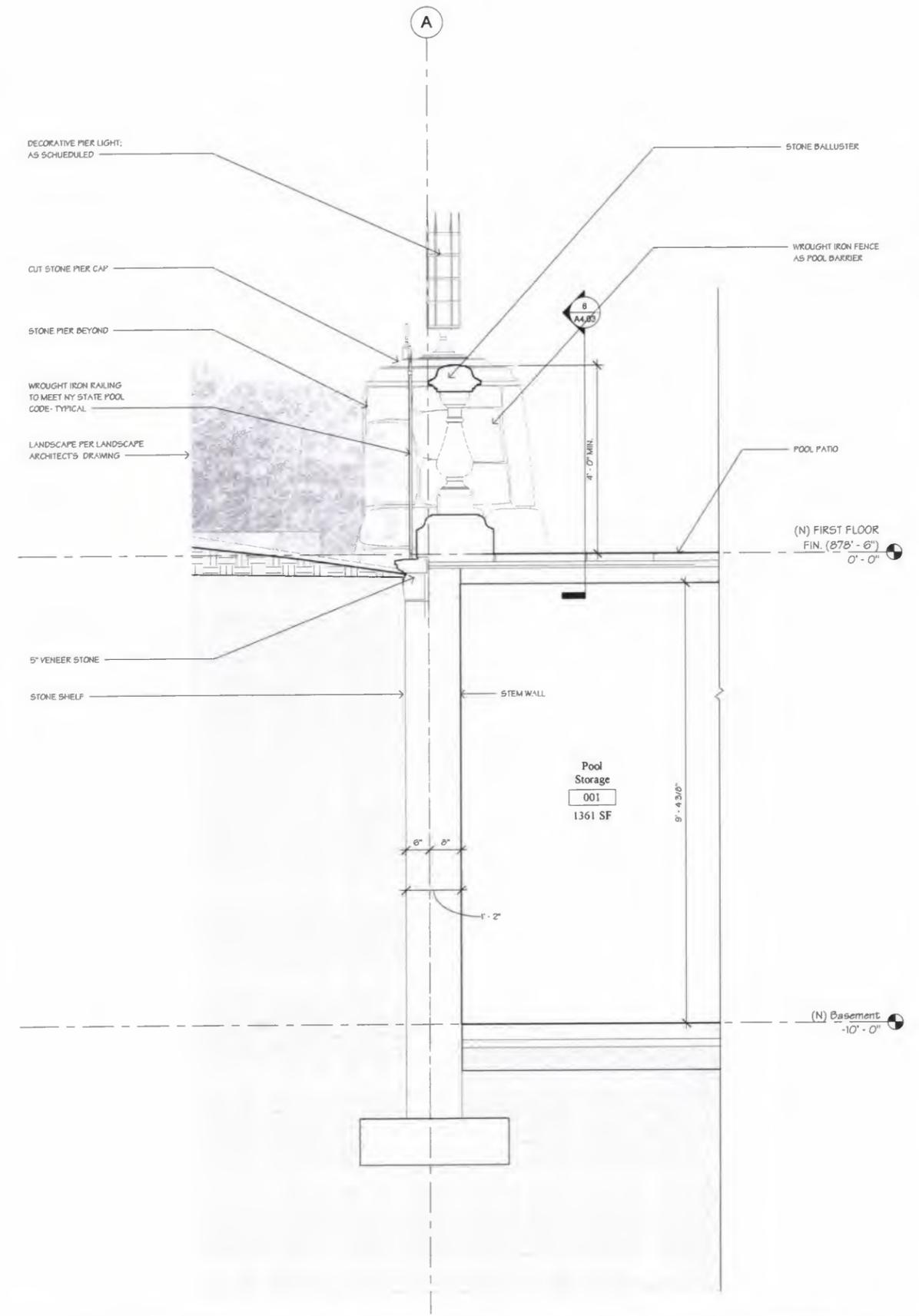
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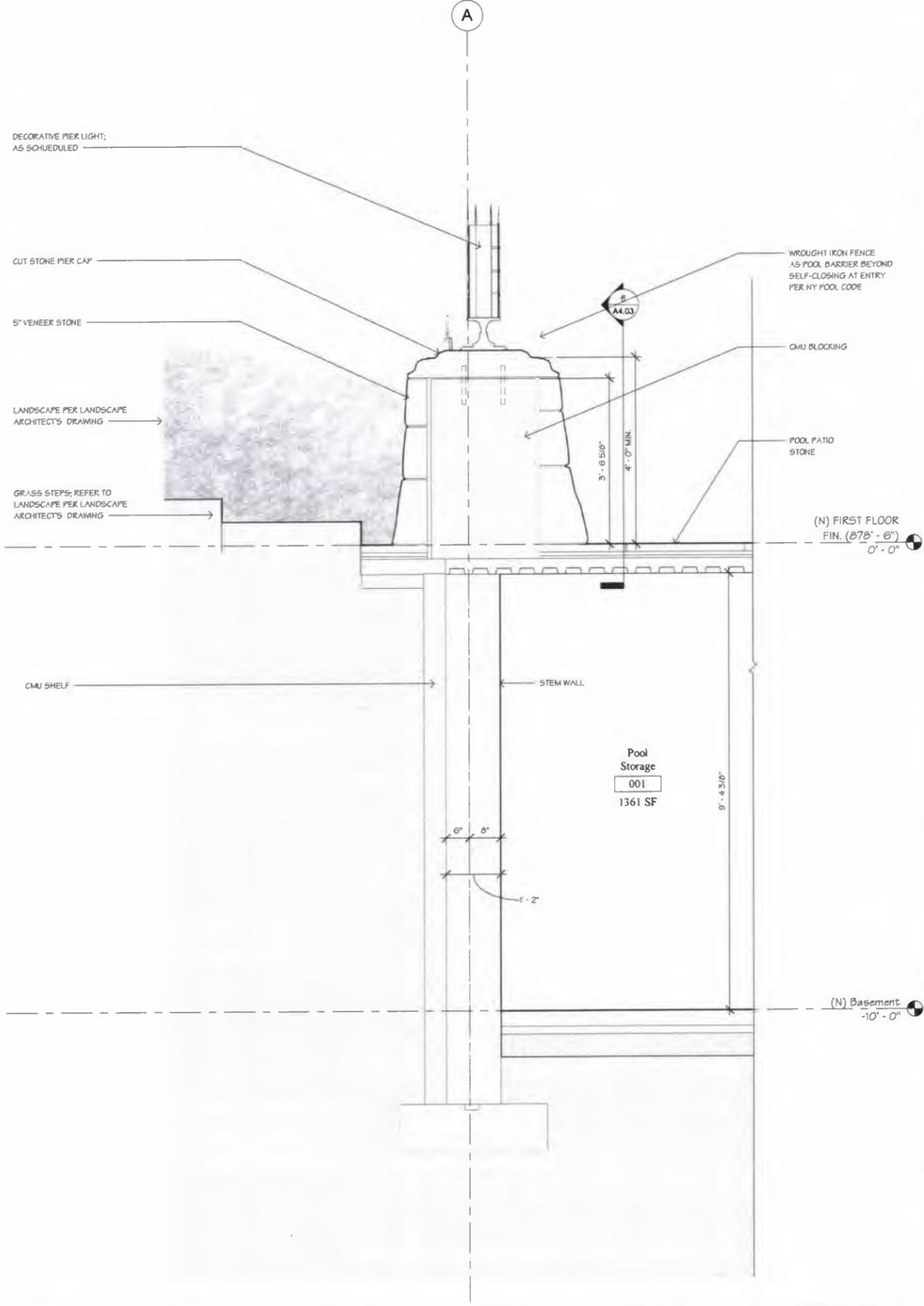
Drawing Title:
Typical Wall Sections

Drawn: L.S.
Checked: J.M.
Project Number: 93480
Date: January 3, 2020
Drawing Number:

A4.00



1 Typical Pool Deck Wall Section
3/4" = 1'-0"



2 Typical Section at Pier
3/4" = 1'-0"

Project:
Private Pool House
45 West Lake St,
Skaneateles NY

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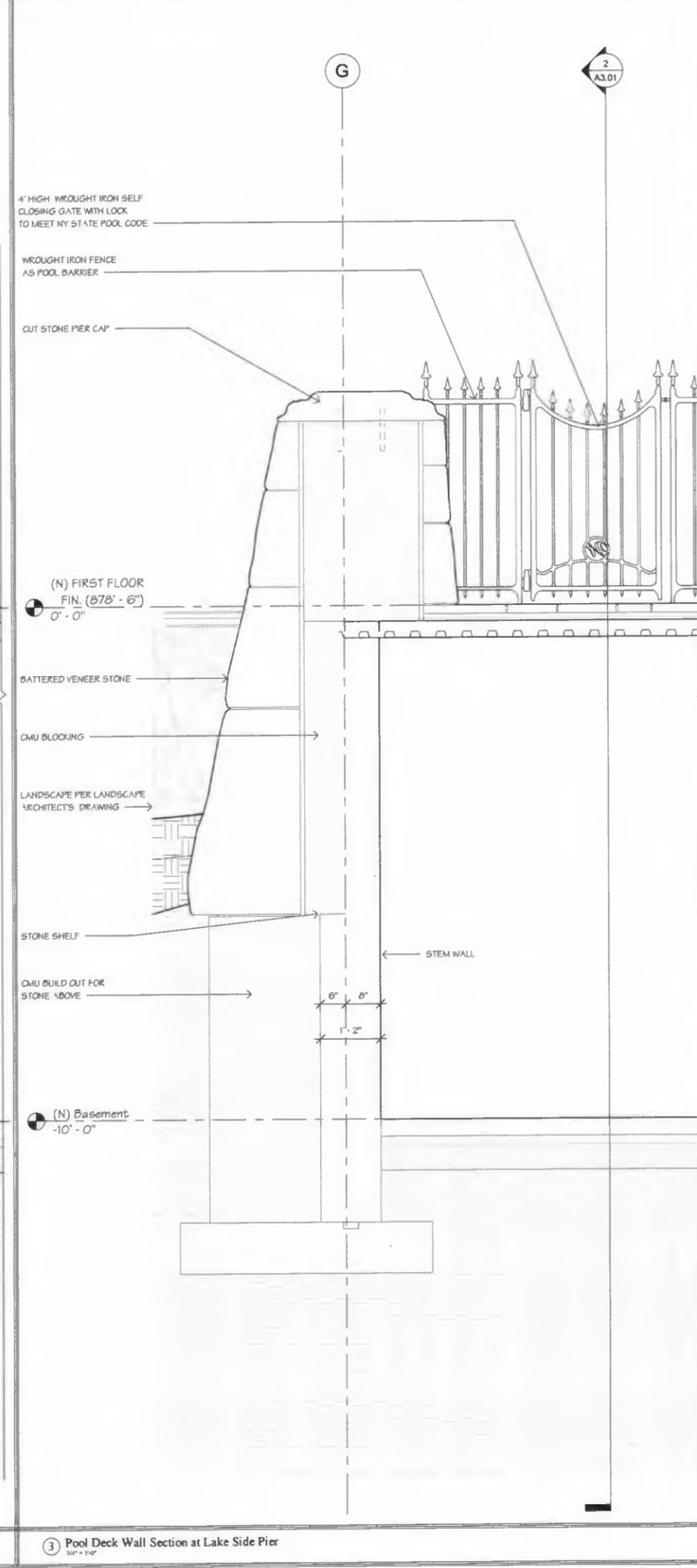
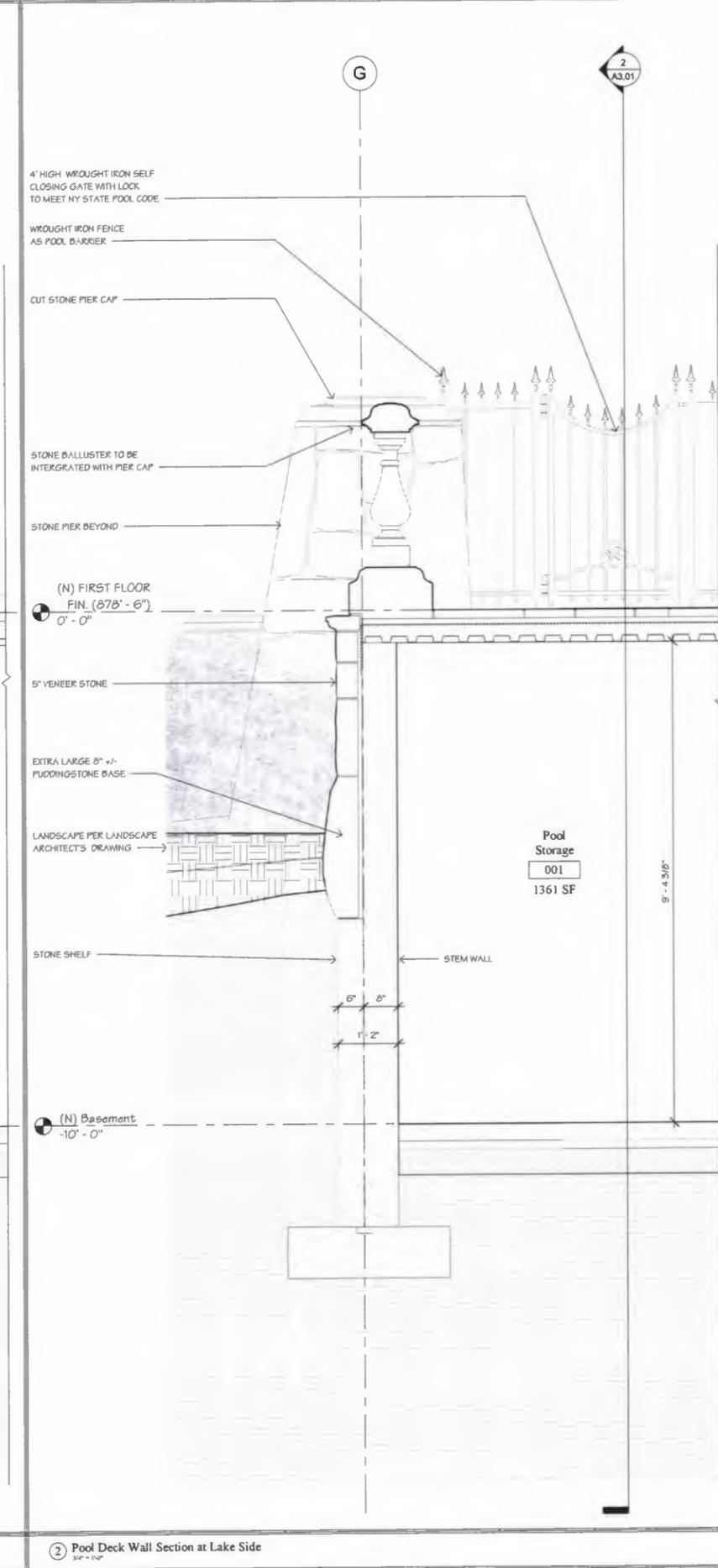
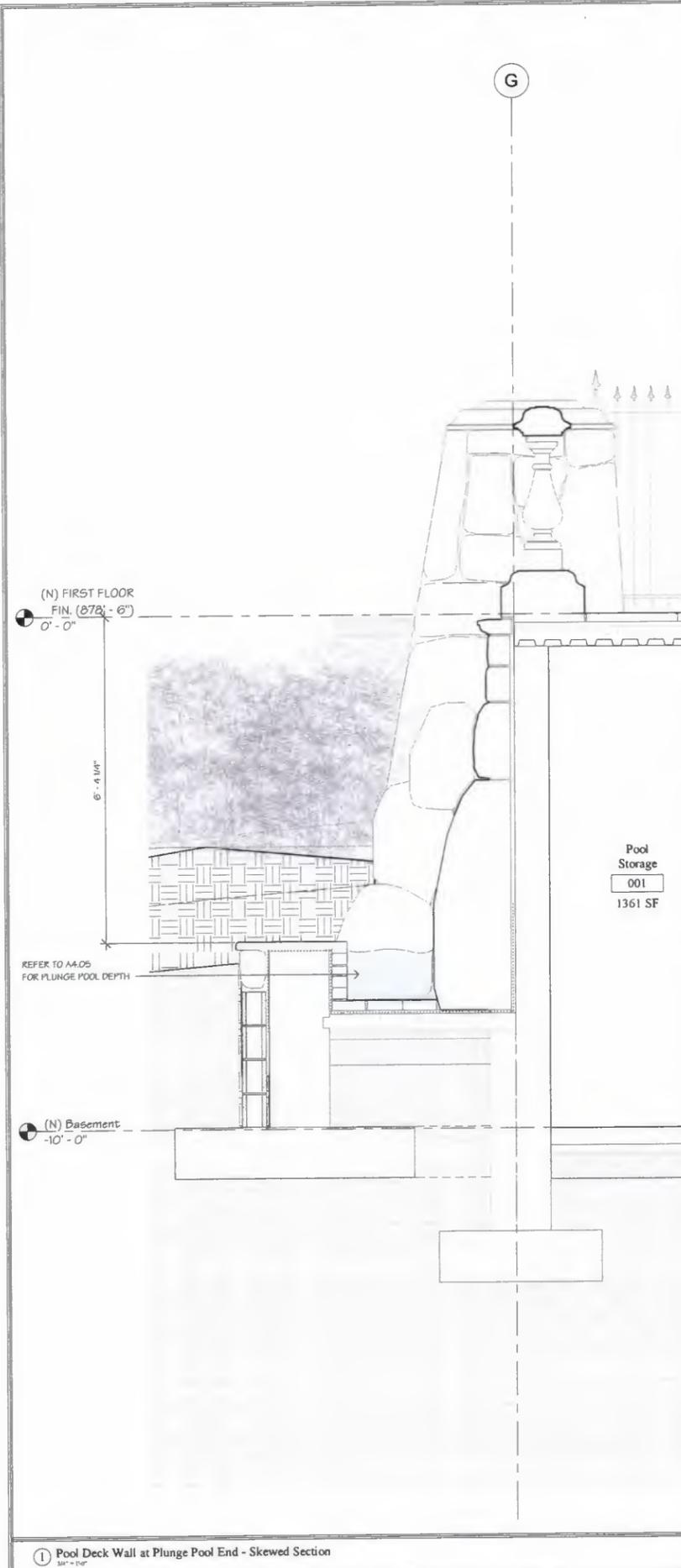
Registration:



Drawing Title:
Pool Deck Wall Sections

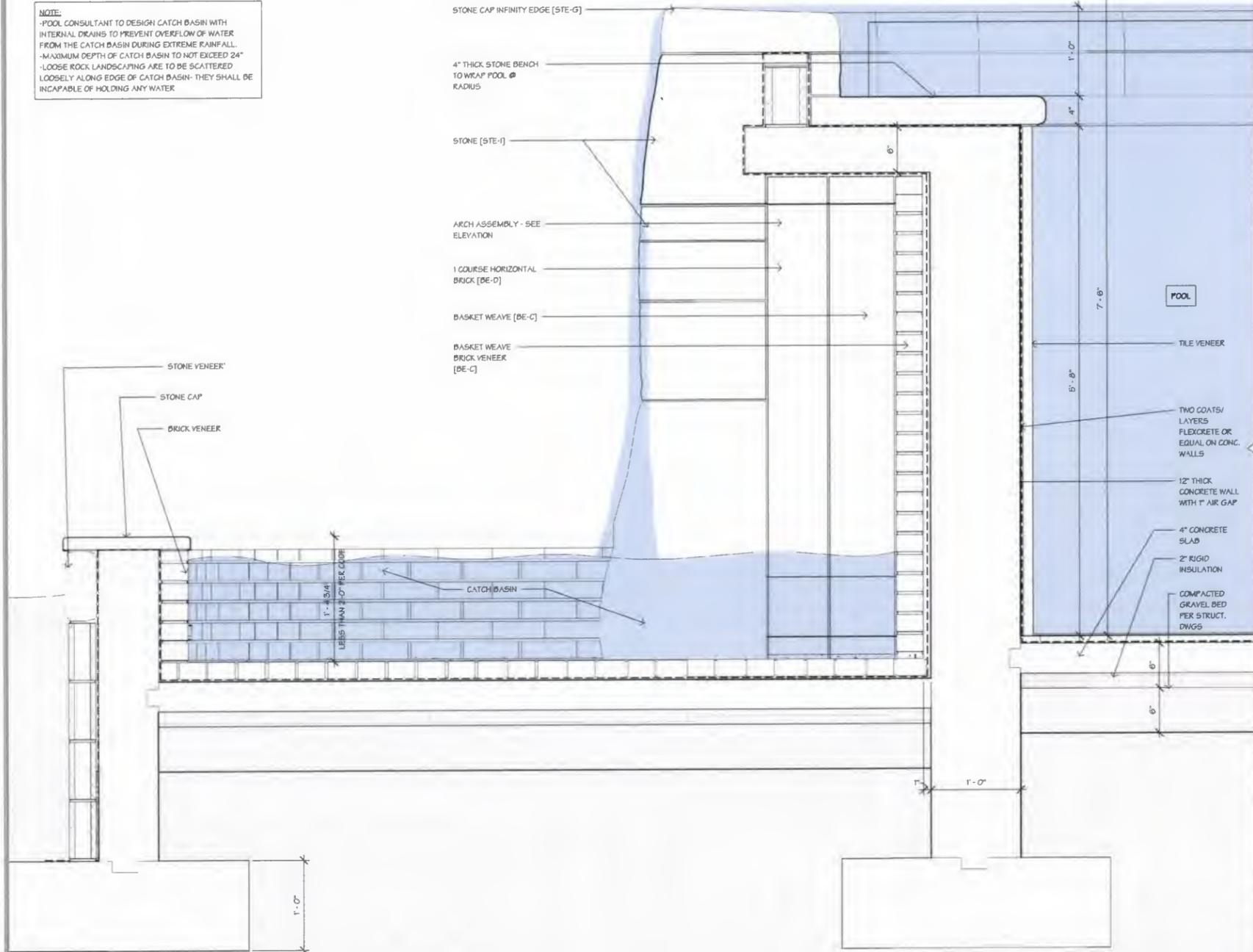
Drawn: Author
Checked: Checker
Project Number: 93480
Date: January 3, 2020
Drawing Number:

A4.01

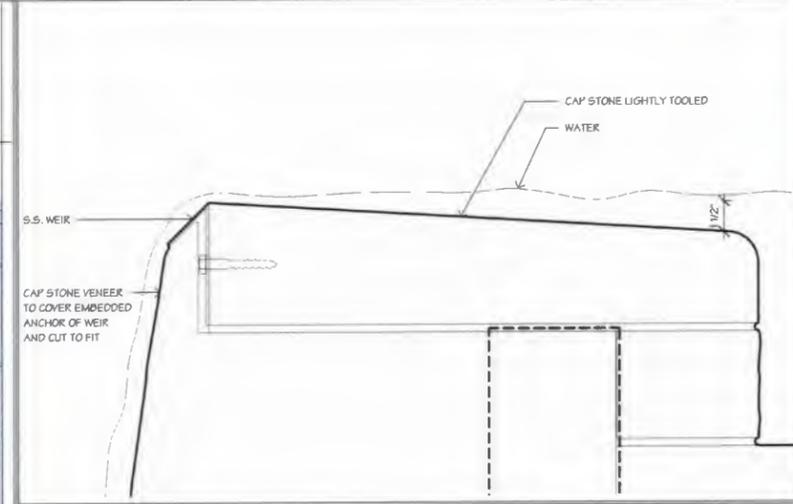


(N) FIRST FLOOR
FIN. (878' - 6")
0' - 0"

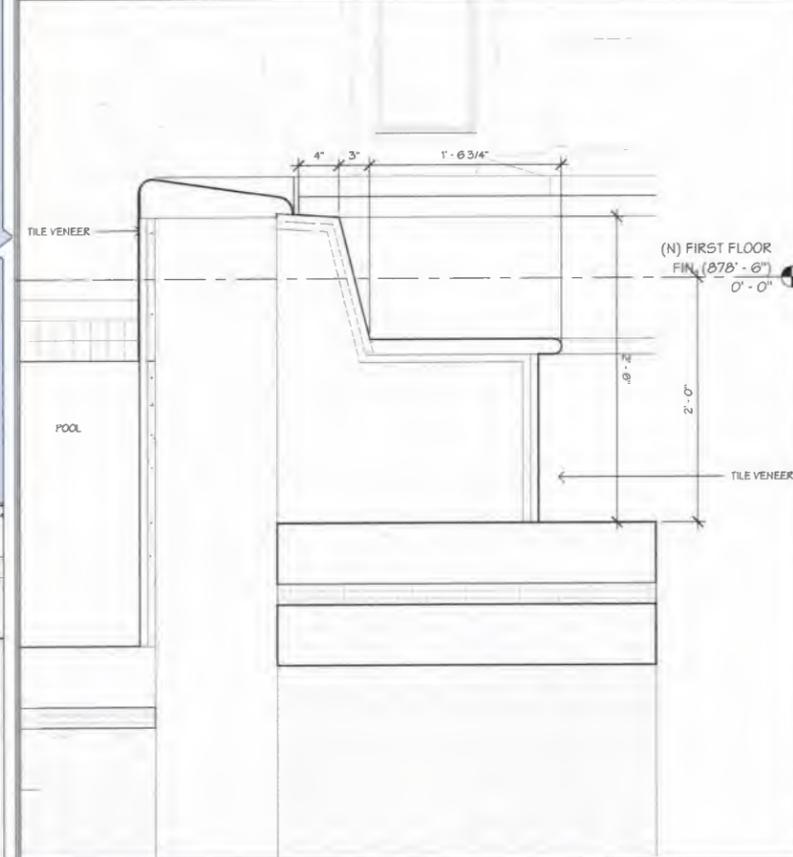
NOTE:
-POOL CONSULTANT TO DESIGN CATCH BASIN WITH INTERNAL DRAINS TO PREVENT OVERFLOW OF WATER FROM THE CATCH BASIN DURING EXTREME RAINFALL.
-MAXIMUM DEPTH OF CATCH BASIN TO NOT EXCEED 24"
-LOOSE ROCK LANDSCAPING ARE TO BE SCATTERED LOOSELY ALONG EDGE OF CATCH BASIN- THEY SHALL BE INCAPABLE OF HOLDING ANY WATER



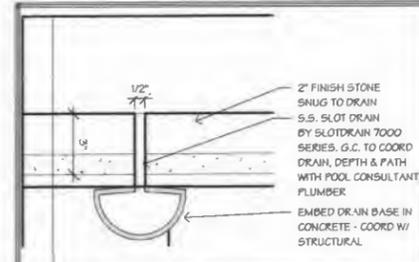
1 Pool Wall Section Detail
1/2" = 1'-0"



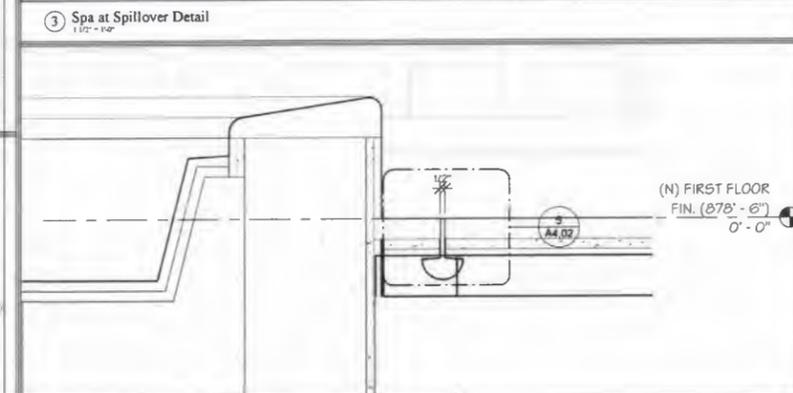
2 Pool Cap Detail
3/4" = 1'-0"



3 Spa at Spillover Detail
1/2" = 1'-0"



5 Enlarged Slot Drain Detail
3/4" = 1'-0"



4 Slot Drain Detail
1/2" = 1'-0"

MEYER & MEYER
ARCHITECTS AND INTERIORS
1125 PARK AVENUE
NEW YORK, NY 10028
TEL: 212 261 2200
WWW.MEYERANDMEYER.COM

Project:
Private Pool House
45 West Lake St.
Skaneateles NY

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Permit Set January 3, 2020
Final Submission

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Registration:

Drawing Title:
Pool Sections and Details

Drawn: Author
Checked: Checker
Project Number: 93480
Date: January 3, 2020
Drawing Number:

A4.02

File Location: L:\T\T\T\blocks\134\36\T\T\T\block-New.dwg

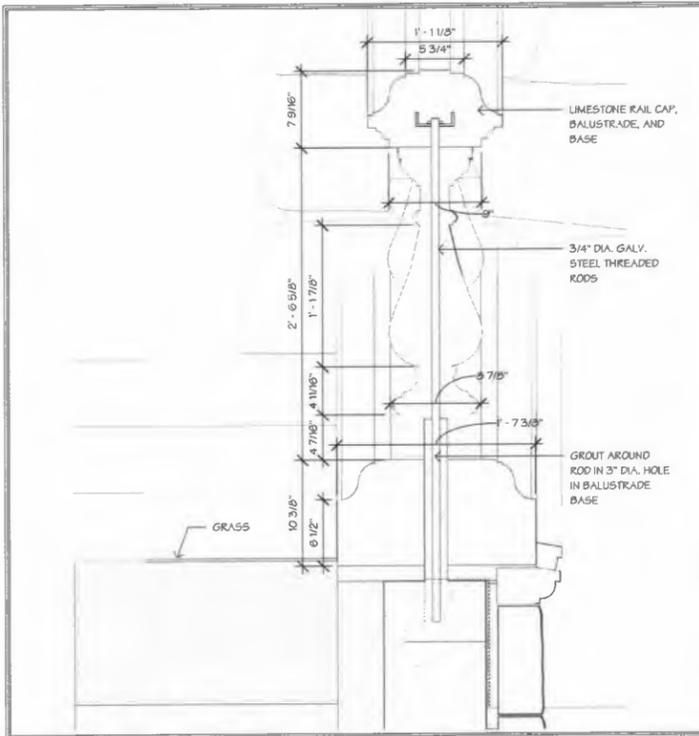
Project:
Private Pool House
 45 West Lake St,
 Skaneateles NY

Issue Dates and Revisions:
 Permit Set January 3, 2020
 Final Submission

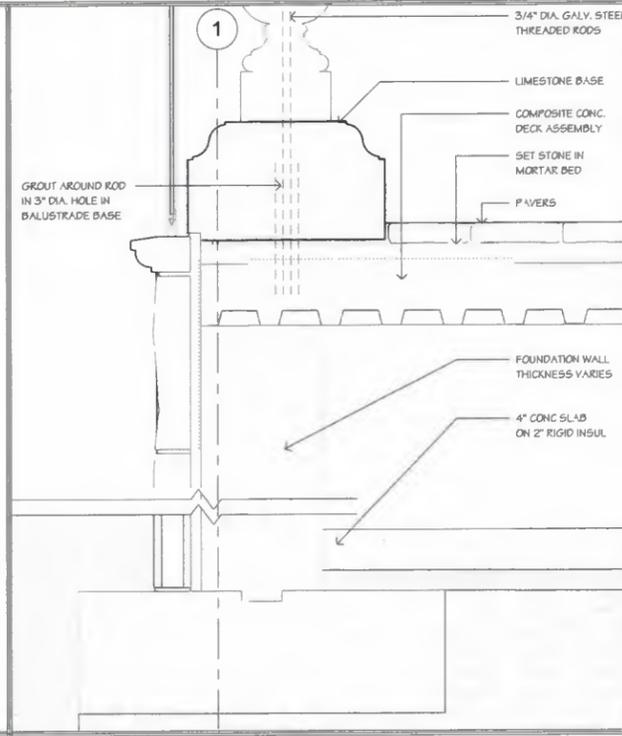
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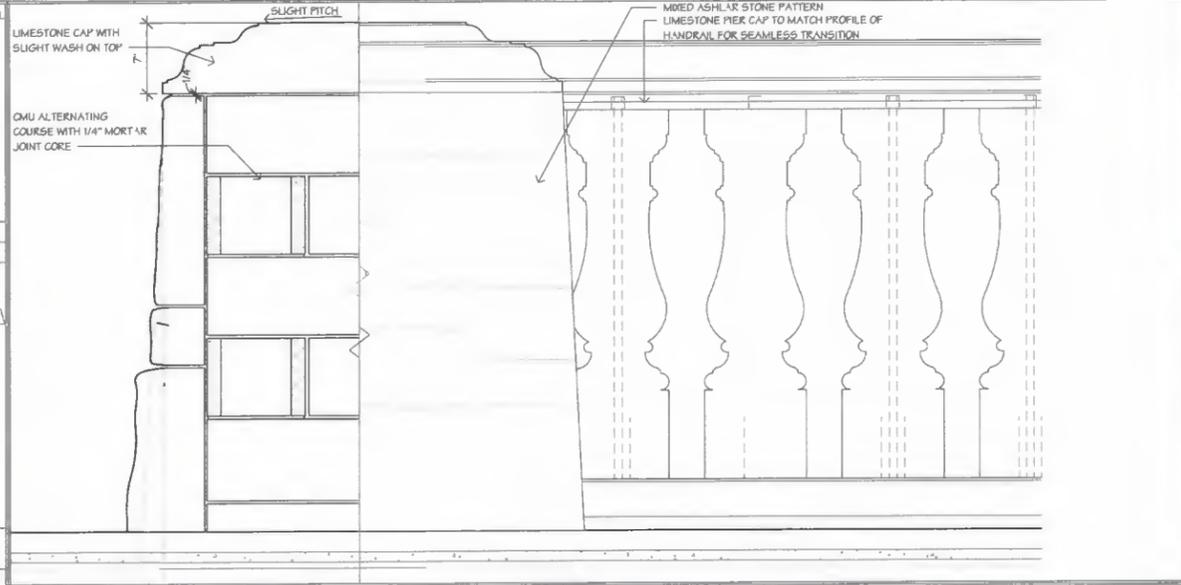
Registration:
Drawing Title:
Pier and Railing Details
 Drawn: L.S.
 Checked: J.M.
 Project Number: 93480
 Date: January 3, 2020
 Drawing Number:



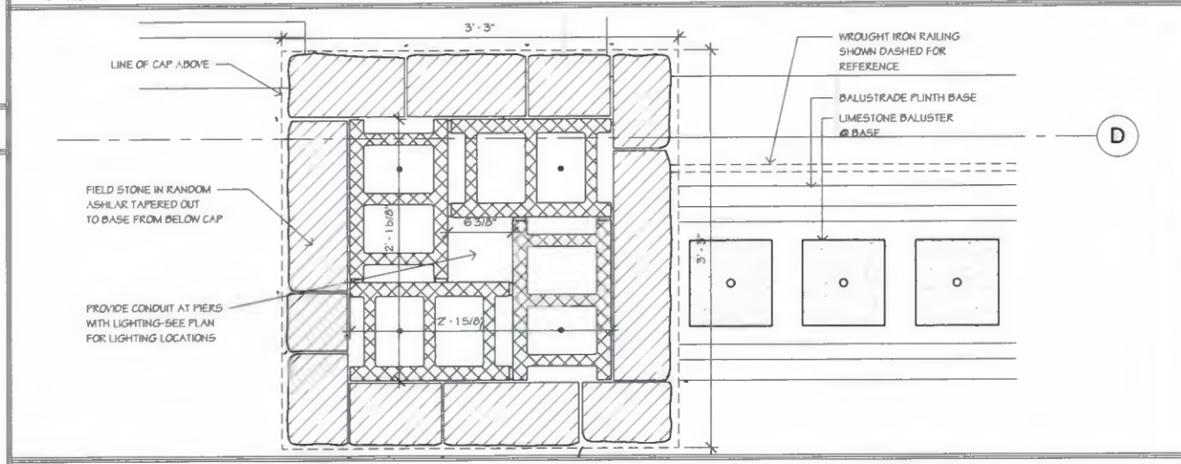
1 Section Through Stone Wall Railing
 1 1/2" = 1'-0"



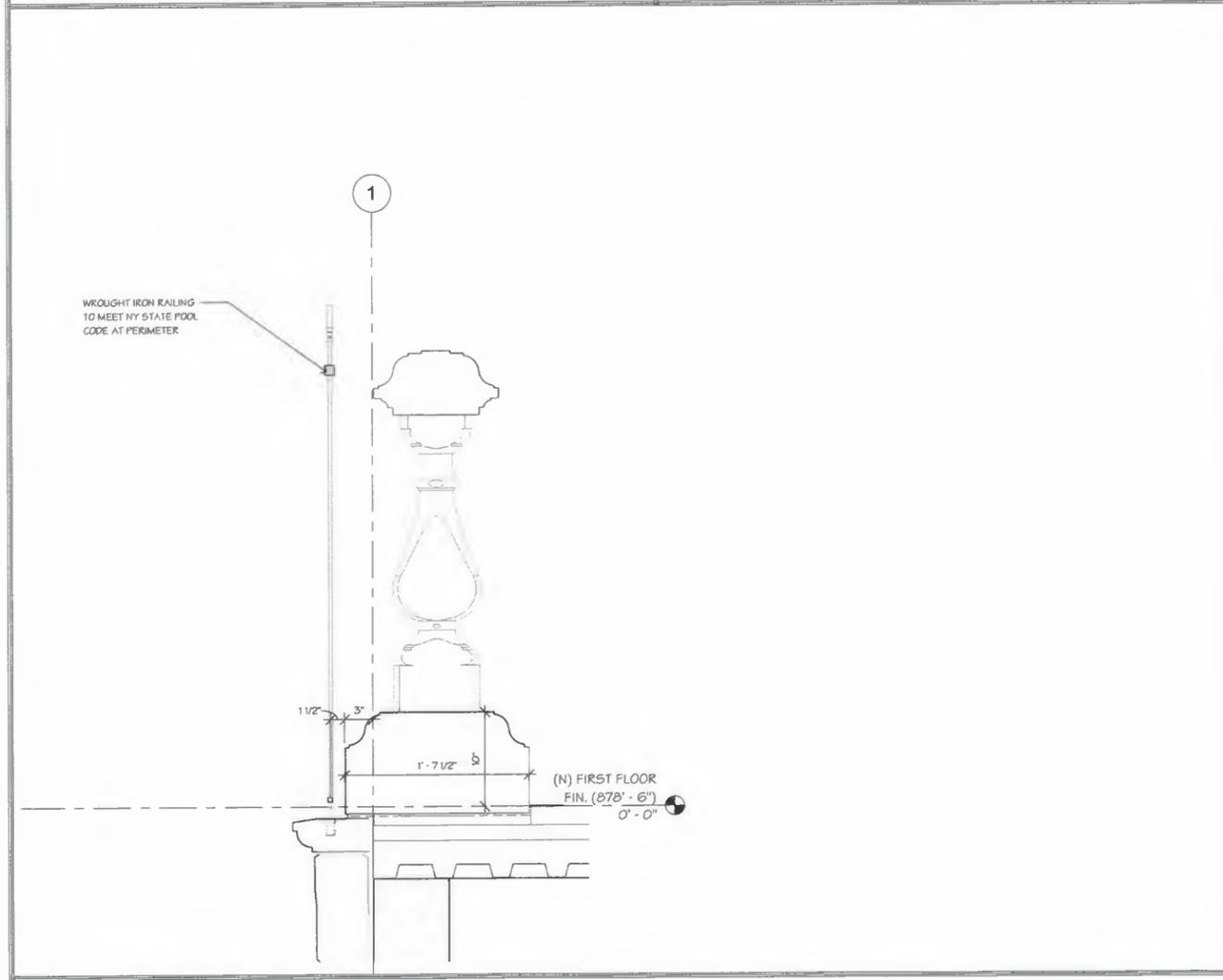
2 North Foundation Wall - Section
 1 1/2" = 1'-0"



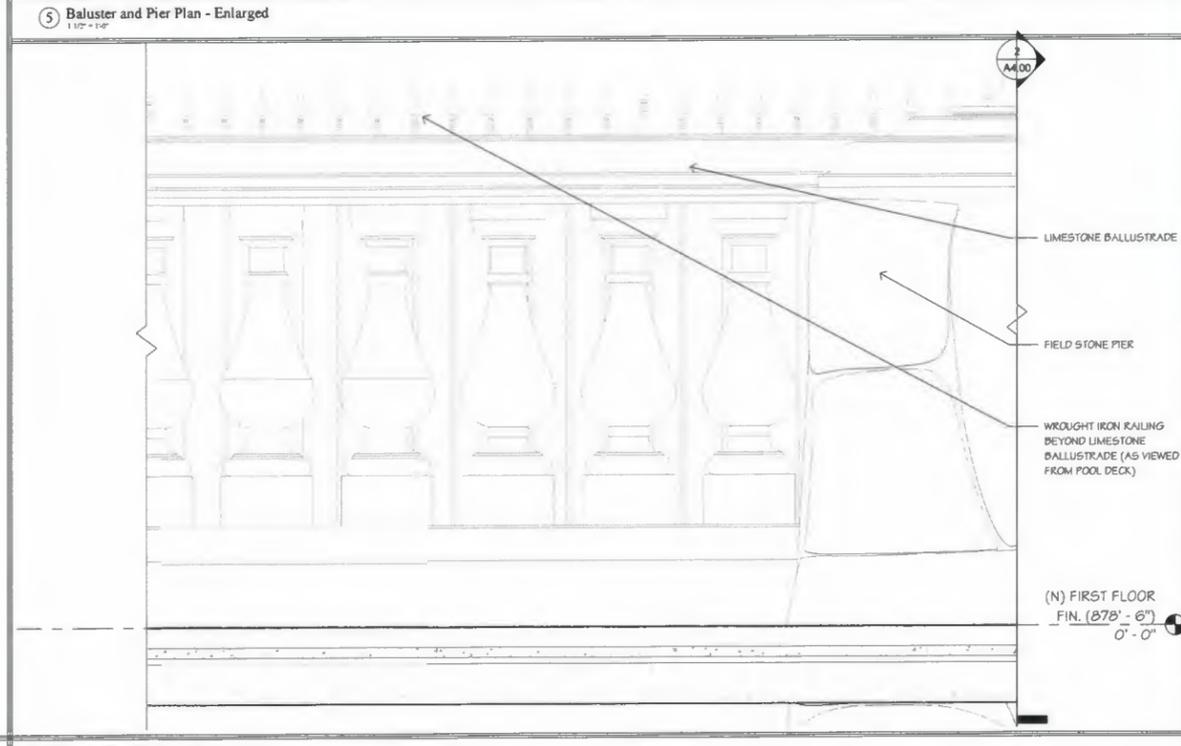
3 Section/Elevation Through Pier
 1 1/2" = 1'-0"



5 Baluster and Pier Plan - Enlarged
 1 1/2" = 1'-0"

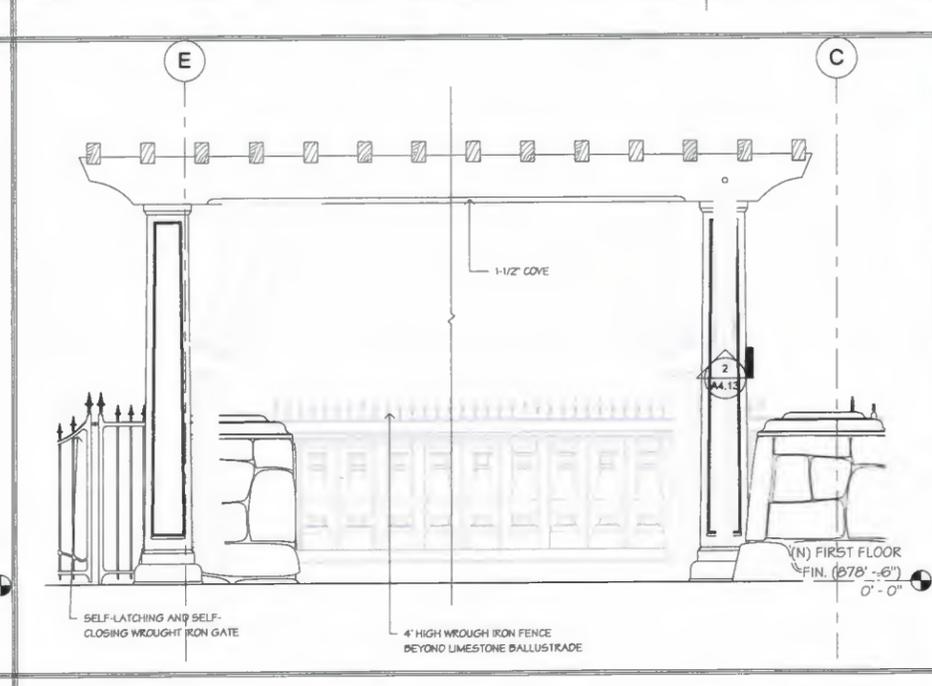
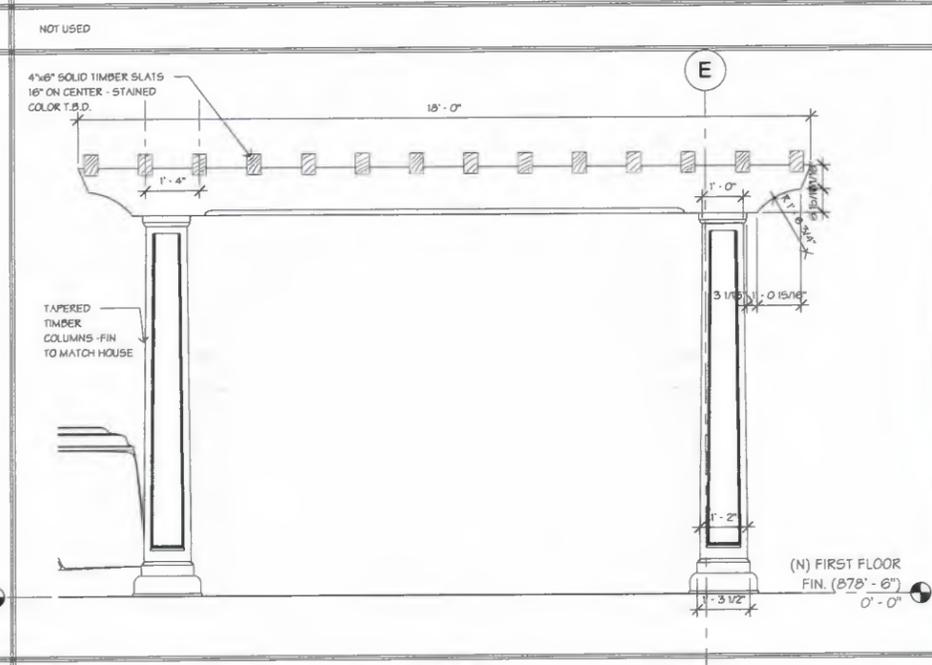
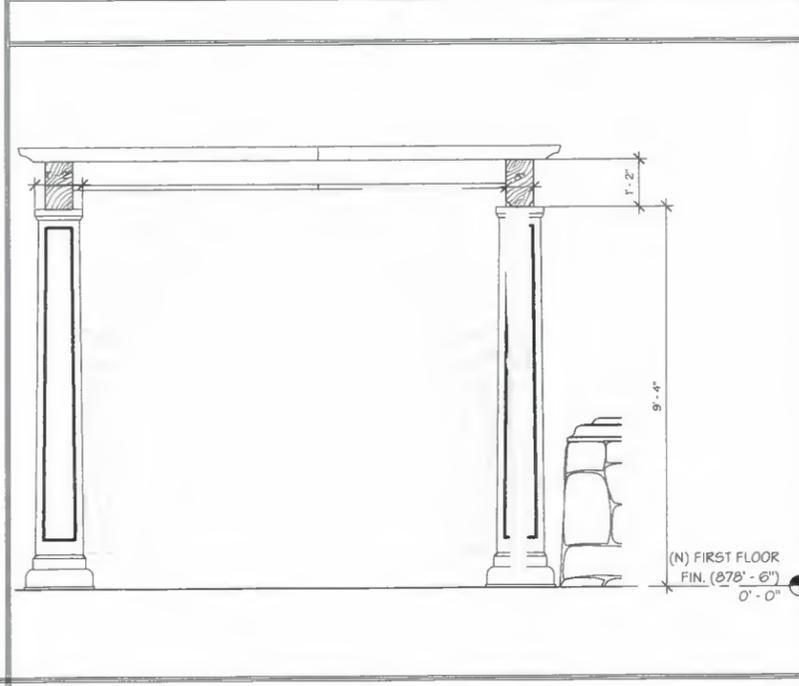
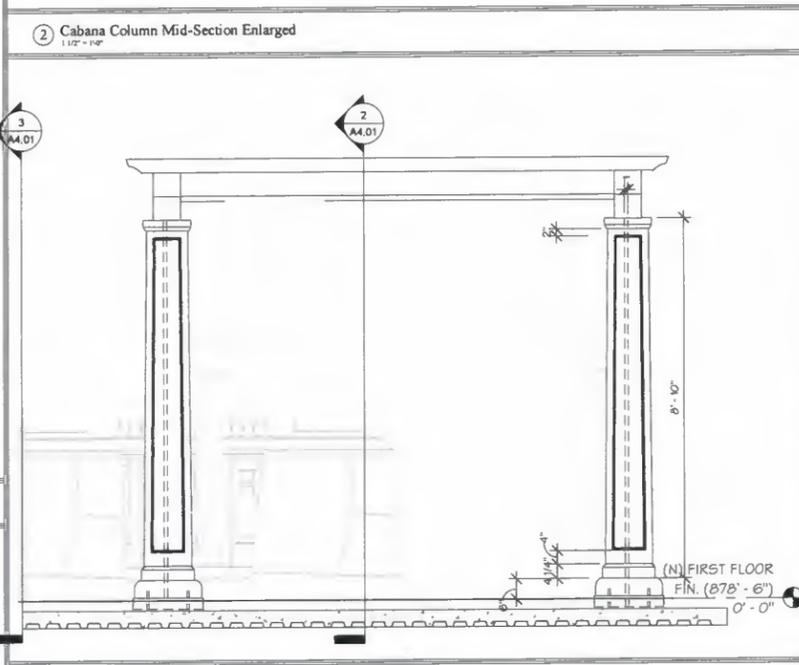
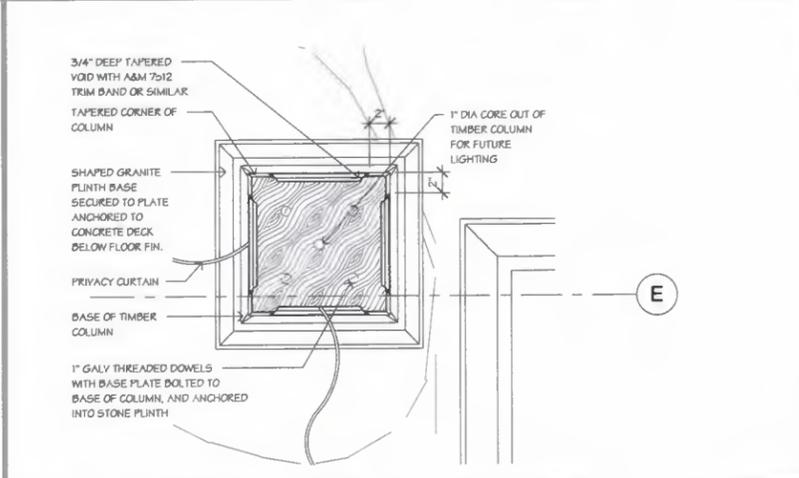
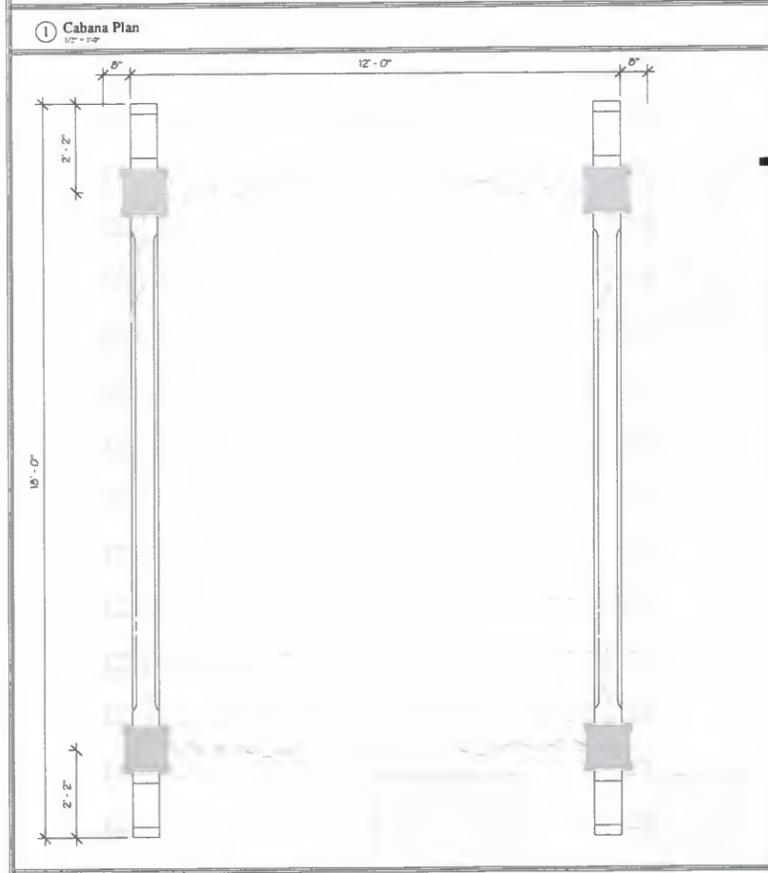
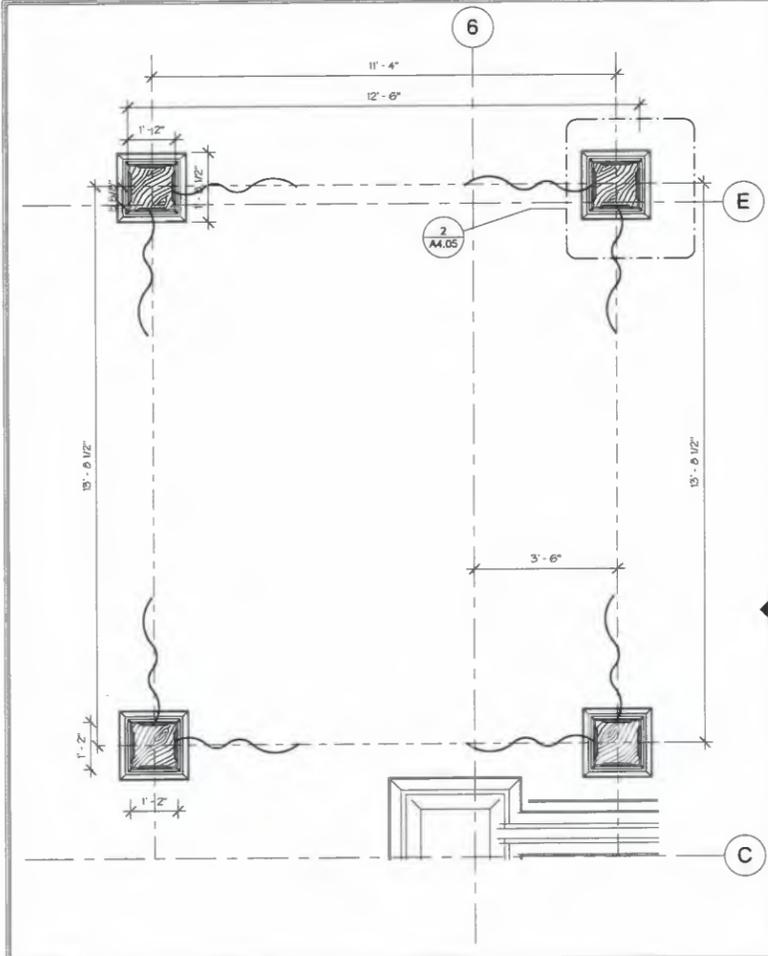


4 Wrought Iron & Stone Railing - Section
 1 1/2" = 1'-0"



6 Wrought Iron Railing Elevation I
 1 1/2" = 1'-0"

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Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

General Notes:
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Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the required removal of completed work at General Contractor cost, if a discrepancy which could have been discovered causes modifications to the plans.
General Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the classifying or specifying of a product, material or means of assembly is to be pointed out to the Architect immediately.
Drawings shall not be scaled for dimensions and/or sizes. Owner and Architect assume no responsibility for use of incorrect scale.
Regardless of whether or not an item is shown or specified, General Contractor shall provide said item if it is necessary for the proper installation or function of an item shown or specified. Suppliers and Subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.
All dimensions to interior/exterior walls indicated are to face of stud wall or concrete, etc., unless noted otherwise.
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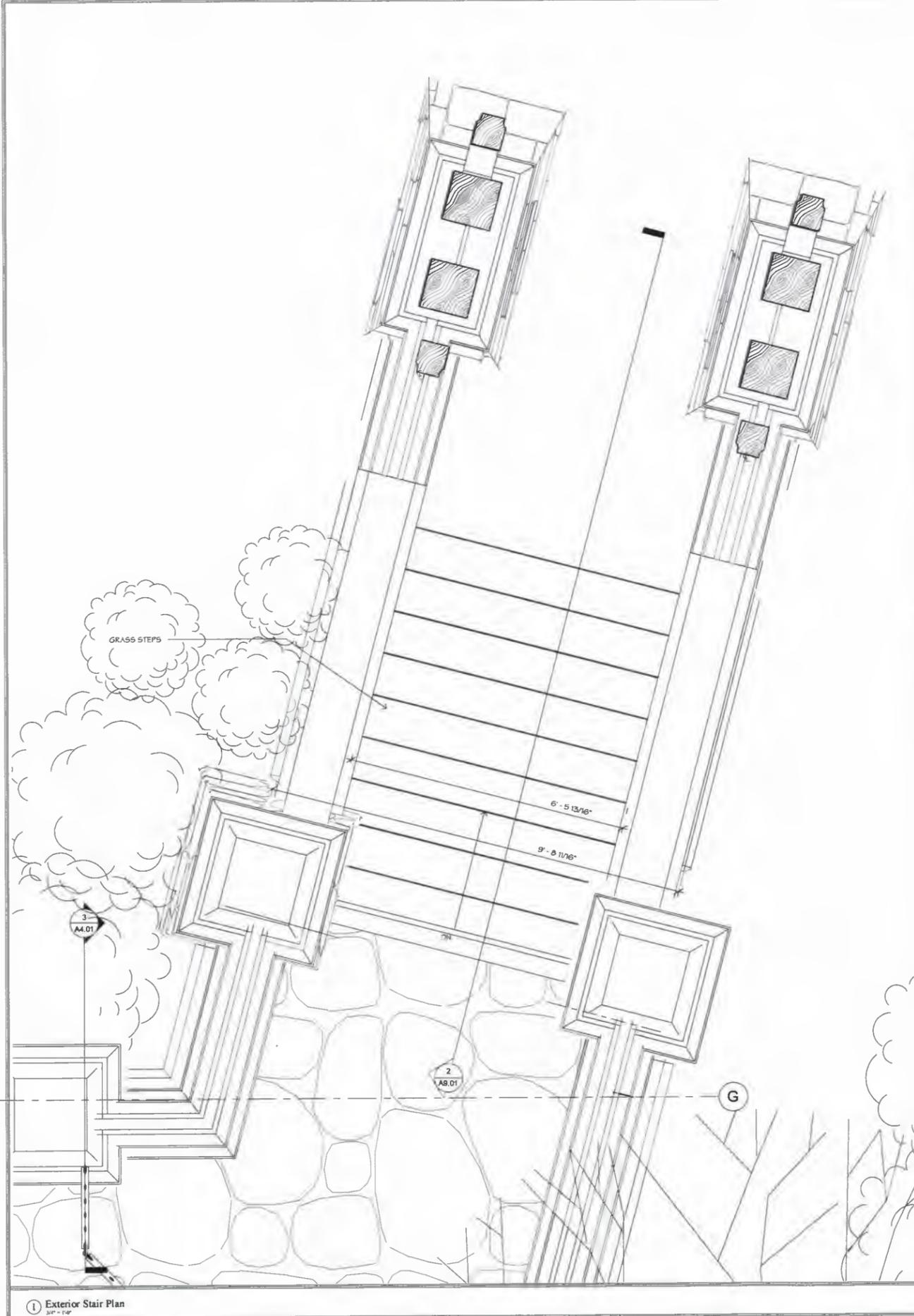
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Drawing Title:
Cabana Plan and Elevations

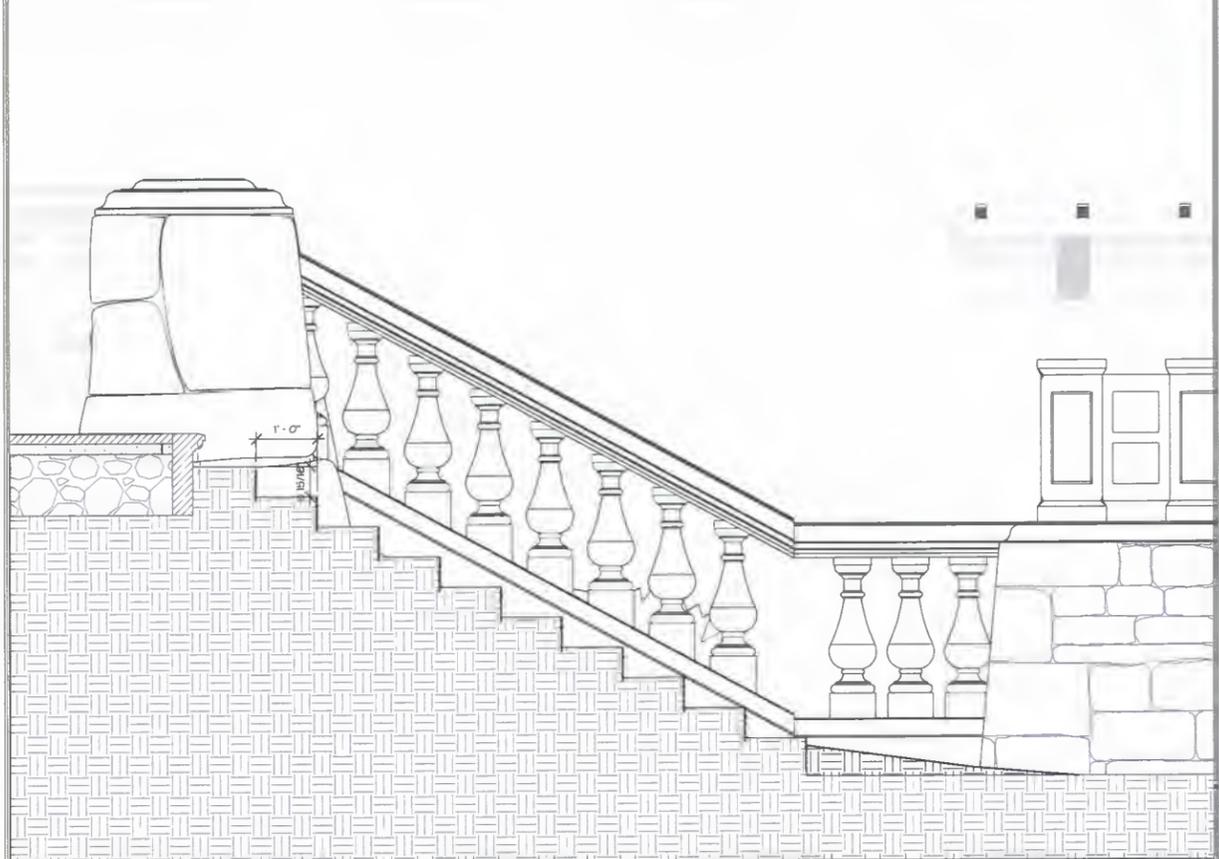
Drawn: L.S.
Checked: J.M.
Project Number: 93480
Date: January 3, 2020
Drawing Number:

A4.05

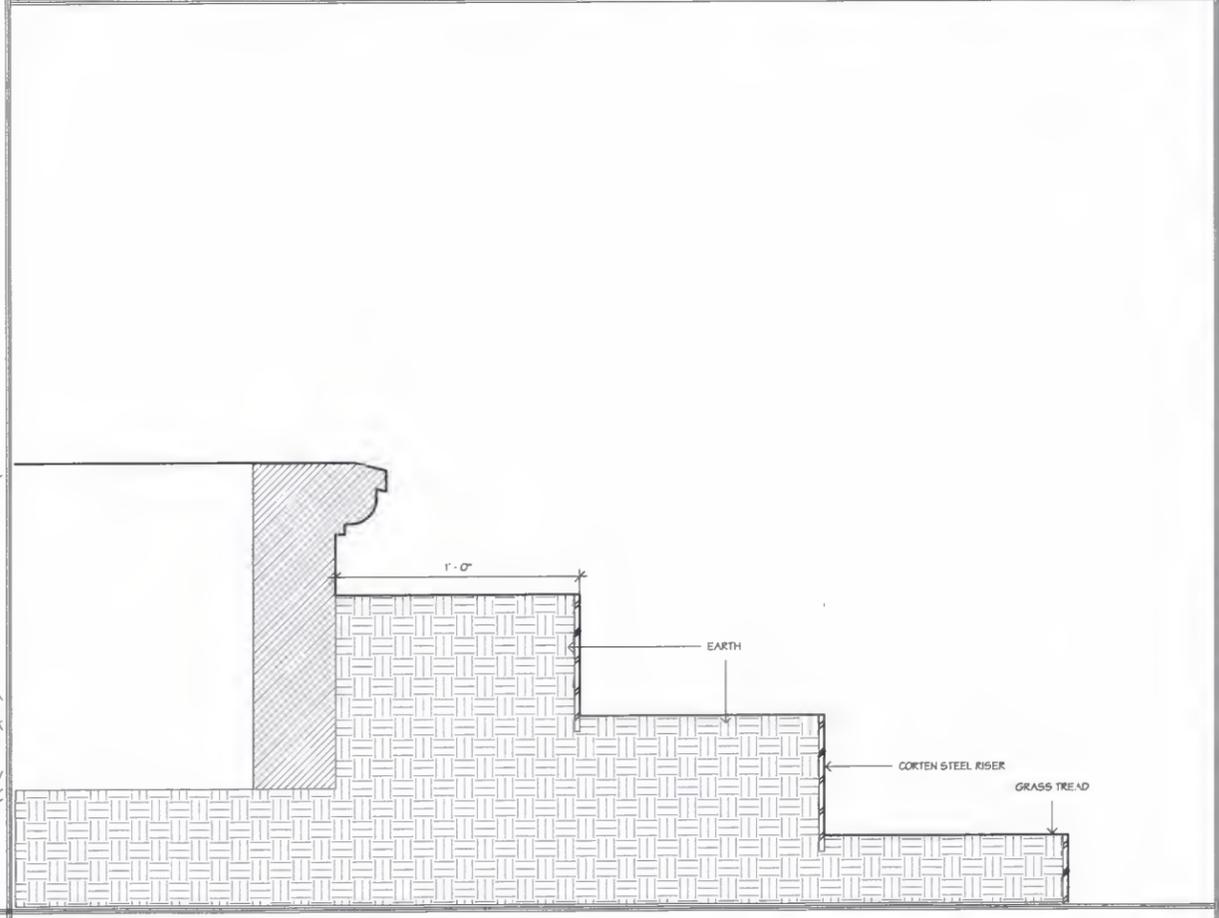
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1 Exterior Stair Plan
3/4" = 1'-0"



2 Exterior Stair Section
3/4" = 1'-0"



3 09 Exterior Stair Section Detail
3/4" = 1'-0"

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Registration:
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Grass Staircase
 Drawn: L.S.
 Checked: J.M.
 Project Number: 93480
 Date: January 3, 2020
 Drawing Number:

A9.01



Project:
Private Pool House
45 West Lake St,
Skaneateles NY

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Drawing Title:
Perspective

Drawn: Author
Checked: Checker
Project Number: 93480
Date: January 3, 2020
Drawing Number:

AP1.00

45 WEST LAKE STREET



61 WEST LAKE STREET

MEYER & MEYER
ARCHITECTS AND INTERIORS

Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:

General Notes:
General Contractor shall make all Subcontractors and Suppliers aware of the requirements of these notes.

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All dimensions to exterior exterior walls indicated are to face of steel wall or concrete m.c. unless noted otherwise.

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Drawing Title:
Perspective

Drawn: Author

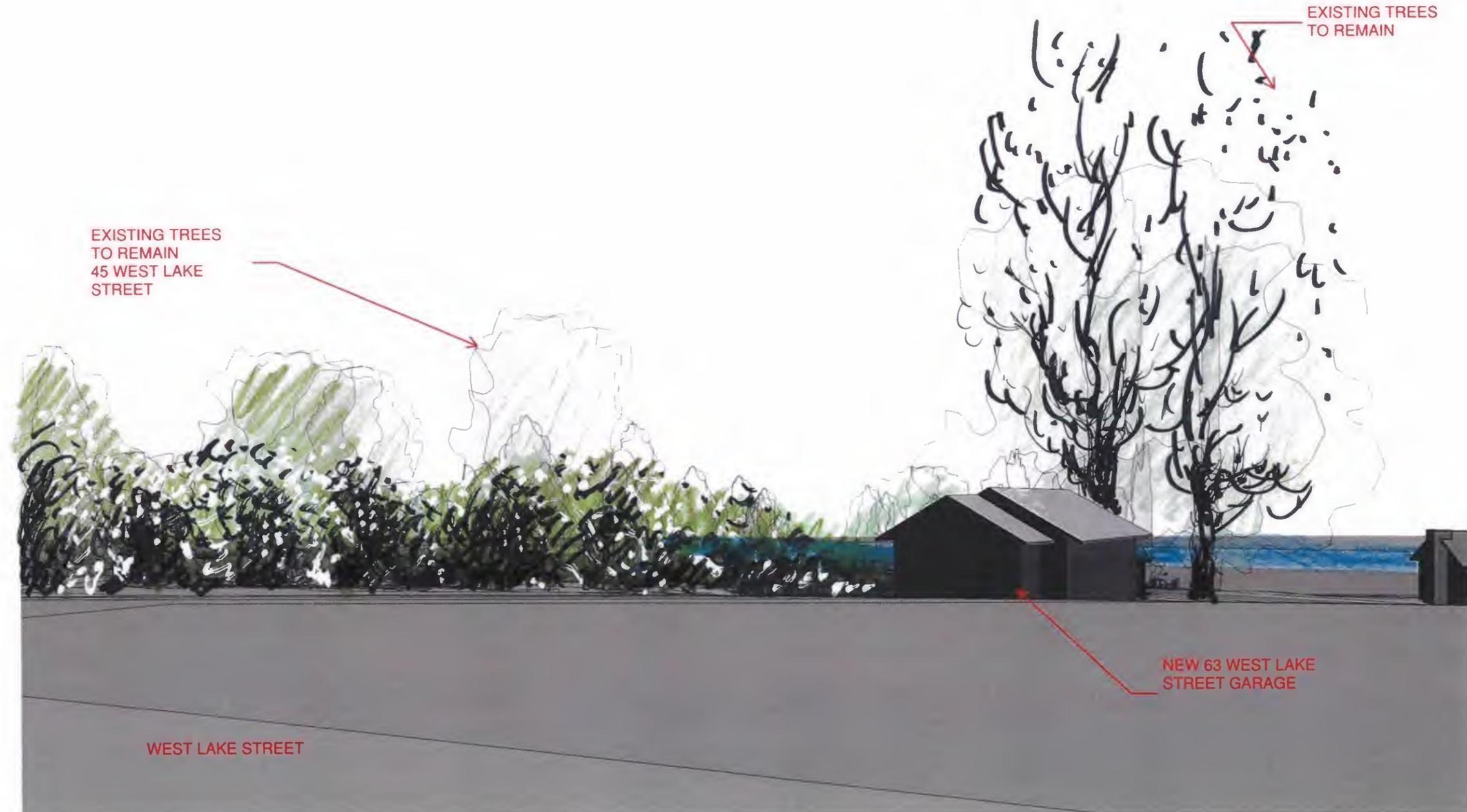
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Project Number: 93480

Date: January 3, 2020

Drawing Number:

AP2.00



Project:
Private Pool House
 45 West Lake St,
 Skaneateles NY

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