

Village of Skaneateles
Zoning Board of Appeals Meeting
Wednesday, April 22, 2020

Pursuant to Executive Order 202.1, this meeting will be conducted by telephone conference call. The public may attend any meeting but may comment only during public hearings. The call-in number is 315-313-6263. When prompted, please enter the conference ID number: 775 888 902#. Prior to the meeting, those wishing to speak during a public hearing may make a request to be called upon by sending an email to CTB@villageofskaneateles.com. Please mention ZBA and the matter you wish to comment upon in the subject line. Comments can be submitted in writing to ZBA, Village of Skaneateles, 26 Fennell St., Skaneateles, NY 13152. Requests to comment during the meeting and any written comments sent to ZBA by mail must be received by 4:30 pm on the day of the hearing.

AGENDA

7:30 pm Public Hearing in the matter of the Area Variance application by **Guy Donahoe on behalf of Ovid Neulander & Donna Ciaccio** to vary the strict application of Section 225-A5 Density Control Schedule for side yard set-back, left; and both side yards combined; and Section 225-69D Nonconforming Buildings, Structures and Uses, Extension or Expansion; to construct a second-floor addition within the footprint of the existing building at the property addressed as **58 East Elizabeth Street** in the Village of Skaneateles

7:32 pm Public Hearing in the matter of the Area Variance application of **Adam Weitsman** to vary the strict application of Section 225-A5 Density Control Schedule for Front yard set-back, Side yard set-back, right, Rear yard set-back, and Minimum open area; Section 225-14C(2)(c) for front yard driveway/parking; Section 225-14C(3) Fences and Walls; Section 225-14C(5)(d) Accessory Buildings and Uses; Section 225-20 D for development within 50 feet of Skaneateles Lake; 225-58B(8)(a) and (b) for front yard driveway/parking; to merge two lots, demolish an existing single-family residential dwelling unit and to construct a swimming pool, hot tub, 89 by 48 foot pool deck with storage and mechanical space below, plus appurtenances (temple w/ roof, trellis and fence), driveways, walkways and retaining walls at the properties addressed as **61 West Lake Street and 45 West Lake Street** in the Village of Skaneateles. *The Board is expected to adjourn and continue this hearing to its regularly scheduled meeting on May 27, 2020 to redetermine its appropriateness to be heard at that time, pursuant to Executive Order 202.25.*

7:35 pm Public Hearing in the matter of the Area Variance application of **Holbrook Heating on behalf of Charles Wallace** to vary the strict application of Section 225-A5 Density Control Schedule for side yard set-back, right; to install an air conditioning condenser at the property addressed as **19 Onondaga Street** in the Village of Skaneateles.

7:37 pm Public Hearing in the matter of the Area Variance application of **Anna Nelson** to vary the strict application of Section 225-A5 Density Control Schedule for side yard set-back, left; side yard set-back, right; both side yards combined; Minimum livable area; and Minimum open area; and Section 225-69D Nonconforming Buildings, Structures and Uses, Extension or Expansion; to construct a 20 by 10 foot addition with a 5 by 3 foot stoop, and install an air conditioning condenser pad, new 12 by 12 foot patio and walkways at the property addressed as **15 Orchard Road** in the Village of Skaneateles.

7:40 pm Public Hearing in the matter of the Area Variance application of **Jordan Road Town Homes, LLC (Christopher Graham)** to demolish the existing 43 by 20 foot carriage house and to vary the strict application of Section 225-14 C (5) (a) for accessory building set-back; to construct a 24 by 36 foot carriage house/barn/3-car garage with attic storage above and to modify the driveway at the property addressed as **149 East Genesee Street** in the Village of Skaneateles. *This matter was heard by the Zoning Board of Appeals at its meeting on December 4, 2019, and approved based on an agreed-to amended application for a set-back of 9 feet.*

7:42 pm Consideration of request to extend time to complete in the matter of the area variance application of Rob & Lauren Pohl to vary the strict application of Section 225-A5 Density Control Schedule for Sideyard set-back, left; Percentage of structure width/lot width; and Minimum open area; and Section 225-14C(5)(c) parking in front yard; Section 225-69E restoration and repair; and Section 225-70 existing undersized lots to construct a new single family dwelling with 4 bedrooms, 2 ½ baths, 2 car garage, porch, deck and driveway at the property addressed as 21 Orchard Road in the Village of Skaneateles. *These variances were previously granted at the Board's April 24, 2019 meeting with a time to complete of April 23, 2020.*

7:45 pm Such other business as may be before the Board.

Note: *The next regularly scheduled meeting of the Zoning Board of Appeals is May 27, 2020 at 7:30 pm.*

Village of Skaneateles Land Use Boards (Planning, Zoning) Conduct of teleconference meetings per NYS Executive Order 202.1

For the immediate future, the Village of Skaneateles will conduct Planning Board and Zoning Board of Appeals meetings via teleconferencing. The public is invited to attend these meetings by telephone, and in the case of a Public Hearing comment period, to participate by telephone as well.

Please visit the Agenda posted on the Village web site www.villageofskaneateles.com for instructions on how to connect with these meetings.

In the interests of maintaining good order and to allow for efficient meetings, the following procedural rules will be followed.

Public Meetings

The public has the right to observe the conduct of all Public Meetings while the boards conduct their business.

The agenda for each meeting will be posted on the Village web site www.villageofskaneateles.com under "Agendas" 3 days before each meeting.

The public may submit comments before 4:30 pm on the meeting day in writing or by email to ctb@villageofskaneateles.com . Anonymous comments will not be accepted.

Public Hearings

The public has the right to observe the conduct of all Public Meetings while the boards conduct their business.

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The public may submit comments before 4:30 pm on the meeting day in writing or by email to ctb@villageofskaneateles.com . Anonymous comments will not be accepted.

There will be a public comment period during which you may speak. To be called upon by the board, send an email before 4:30 pm on the meeting day to ctb@villageofskaneateles.com with your name, address, the phone number from which you will be calling into the meeting and the agenda item on which you wish to comment. You will be called upon during the meeting. Please observe a 2 minute time limit.

You will be muted in order to limit noise and distractions for the Board members.

Any comments made outside of a Public Hearing public comment period will not be heard by Board Members nor become a part of the record.

VILLAGE OF SKANEATELES

26 Fennell St

Skaneateles, NY 13152

315-685-2118

Fax: 315-685-0730

Email: codes@villageofskaneateles.com

11/16jc

Application for a Building/Zoning Permit (page 1 of 2)

Date of Application 12/17/2019 Permit Date and Number

Name of Applicant Guy Donahoe

Address of Applicant 4503 NW Townline Rd Marcellus, NY 13108

Applicant's Email guy@donahogroup.com Contact # 315-673-2883

Address of worksite 58 E Elizabeth St Skaneateles, NY 13152

Name of Property Owner (if different from applicant) Donna Accio

Property Owner Address 58 E Elizabeth St. Skaneateles, NY 13152

Property Owner Email ondoc@mac.com Contact # 315-567-1133

Type of Work Proposed:

New Structure Addition X Alteration Swimming Pool Repair

Fence/Wall Paved Surface Other

Square Footage of new work 545 sq ft Accurate Project Cost

Describe the work proposed: Second floor addition

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VILLAGE OF SKANEATELES

Zoning District (circle one): A-1 A-2 A-3 A-4 B C D PL

Tax Map Number 008.-01-05.0 Square Footage of Lot 22,245

Existing use of lot Residential Proposed use of lot Residential

STRUCTURE INFORMATION:

Single Family X Two Family Multi-Family Garage Commercial

Accessory Building Boat House Other

Existing Use 1 Family Res Proposed Use 1 Family Res

VILLAGE OF SKANEATELES

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Application for a Building/Zoning Permit (page 2 of 2)

LOT INFORMATION: Indicate in box [] North South East West

Table with 2 columns: Setbacks - Existing Structure, Setbacks - Proposed work. Rows: Front Yard, Left Side Yard, Right Side Yard, Rear Yard. Includes handwritten 'EXISTING' and empty boxes for measurements.

New connection for: (Yes/No) Sewer No Electric Service No Storm Sewer No

Does the proposed work/structure comply with the Energy Conservation Construction Code? (Yes, No, N/A)

Architect's Name Guy A. Donahoe, RA

Architect's Address 4503 NW Townline Rd Marcellus, NY 13108

Contractor/Builder Name VP Renovations

Contractor's Phone # 315-468-0090, 315-450-1016

Contractor's Address 2085 Milton Ave. Solvay NY

Contractor's Email vprenovationsp@yahoo.com

The applicant declares that the information contained in this application, and the plans, specifications and other supporting materials submitted in support of this application is true and has made such representations to induce the Village of Skaneateles to issue a Building/Zoning Permit and the applicant will comply with all laws, codes and ordinances controlling this work.

Date 12-17-2019 Signature [Handwritten Signature]

Print Applicant's Name Guy A. Donahoe

Affidavit of Owner or Applicant

(To be completed if application is not made by the property owner)

STATE OF NEW YORK)
) SS:
COUNTY OF ONONDAGA)

MELINDA M LONGWORTH
NOTARY PUBLIC STATE OF NEW YORK
QUALIFIED IN ONONDAGA COUNTY
LIC. #01LO6373897
COMM. EXP. 04/16/2022

On this 17 day of DECEMBER 20 19; Guy A. Donahoe
personally appeared before me.

[Handwritten Signature]
NOTARY PUBLIC

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26 Fennell St

Skaneateles, NY 13152

Fax: 315-685-0730

315-685-2118

Email: codes@villageofskaneateles.com

Building/Zoning Application Review Sheet

Date Received 12/17/19 Tax Map Number 008.-01-05

Applicant's Name GUY DONAHOF

Address of Worksite 58 E. ELIZABETH ST.

Permit Fee Date Received Amount Received

Additional Info. Requested

Date Review Completed 1/2/20 Signature [Signature]

Application Status: Approved Denied

Reasons for Denial - Does not comply with the following:

Section 225-A5, Density Control Schedule for:

- Front Yard Setback Side Yard Setback, left Side Yard Setback, Right
Rear Yard Setback Percentage of Open Area Both Side Yards Combined
Percentage of Structure width/lot width

- Other Density Control Schedule
Section 225-69D, Non-conforming Buildings, Structures and Uses, Extension or Expansion
Section 225-14(d), Swimming Pools, 25 ft. distance to lot lines
Section 225-14C (5) (a/b), Accessory Buildings, distance to lot lines or structures
Section 225-A1-3, Permitted Use Chart
Other Sections of the Zoning Law

- And/or Needs:
Certificate of Approval from the Historical Landmarks Preservation Commission, Section 225-25
Critical Impact Permit, per Section 225-52, form Board of Trustees
Special Use Permit from the Zoning Board of Appeals

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Permit Number Date Issue
Planning Board Review Zoning Board of Appeals Approval
Critical Impact Permit Approval N/A Historical Commission Approval N/A #



Donna A. Ciaccio
58 East Elizabeth St.
Skaneateles, NY 13152

December 11, 2019

Village of Skaneateles
26 Fennell St.
Skaneateles, NY 13152

To Whom It May Concern:

I authorize Guy A. Donahoe, R.A. to be my representative concerning all matters in the applications and approvals required for the Building Permit on my property located at 58 East Elizabeth St. Skaneateles, NY 13152.

Sincerely,

Donna A. Ciaccio

VILLAGE OF SKANEATELES

26 Fennell St

Skaneateles, NY 13152

315-685-2118

Email: codes@villageofskaneateles.com

Fax: 315-685-0730

APPLICATION CHECK LIST

***** SEE INSTRUCTIONS FOR DETAILS *****

- COMPLETED AND SIGNED BUILDING PERMIT APPLICATION
- APPLICATION SIGNATURE NOTARIZED IF YOU ARE NOT THE PROPERTY OWNER
- COMPLETED AND SIGNED VARIANCE APPLICATION (IF APPLICABLE)
- PROPERTY SURVEY (NOT A SITE PLAN)
- ASBESTOS/LEAD SURVEY REPORT
- DRAINAGE AND GRADING PLAN (IF APPLICABLE)
- CERTIFICATE OF OCCUPANCY APPLICATION (IF APPLICABLE)
- LIABILITY INSURANCE AND WORKERS COMPENSATION
- BUILDING PLANS OR FLOOR PLANS AND ELEVATIONS
- SITE PLAN
- COMMERCIAL OR RESIDENTIAL REVIEW FORM (IF APPLICABLE)
- RES CHECK OR COM CHECK
- COPY OF JOB PROPOSAL (DESCRIPTION) AND PROJECT COST
- CHECK PAYABLE TO THE VILLAGE OF SKANEATELES
- PROVIDE EVIDENCE OF PRIOR VARIANCES AND SITE PLAN APPROVALS

***** ALL INCOMPLETE APPLICATIONS WILL BE RETURNED *****

ZONING BOARD OF APPEALS
Village of Skaneateles
26 Fennell Street
Skaneateles, NY 13152

CK # 2695
\$ 200.00
2/13/2020

315-685-2118

Fax 315-685-0730

.....
(1) NOTICE OF APPEAL

(2) APPLICATION FOR SPECIAL USE PERMIT
.....

Date of Application FEBRUARY 14, 2020

To the Zoning Board of Appeals of the Village of Skaneateles, Onondaga County, New York

I/We GUY DONAHUE (DONAHUE GROUP) ARCHITECT & AGENT FOR OWNER
Printed or Typed Name of Appellant(s) and/or Applicant(s)

Address 4503 NW TOWNLINE RD, MARCELLUS, NY 13108

(1) I hereby appeal the decision of the Village Code Enforcement Officer (Building Inspector)

which was denial of a Zoning Permit

which was denial of a Certificate of Occupancy

to vary the strict application of the provisions of:

Article _____ Section 225 Subsection _____

Article _____ Section 225 Subsection _____

Article _____ Section 225 Subsection _____

(2) I hereby apply for: (check all applicable)

A **SPECIAL USE PERMIT** required by the provisions of Article III, Section 225-10
B (1) & Section 225-11 B (2)

A **FLOODWAY PERMIT** required by the provisions of Article III, Section 225-10
B (3) & Article VI, Section 225-18 B

.....
This appeal or application relates to:

58 Street Number E. ELIZABETH STREET Street Name

Tax Map Number 008.-01-05.0

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ZONING BOARD OF APPEALS

Village of Skaneateles

26 Fennell Street

Skaneateles, NY 13152

315-685-2118

Fax 315-685-0730

The applicant shall use this sheet to state the Zoning Board of Appeals details of the variances requested.

Zoning District of the lot A-2

Column

- #1 From the Density Control Schedule (Section 225-A5) fill in the minimum requirements for said lot in your Zoning District
- #2 Indicate the existing set-back dimensions, percentages, that are not-conforming with the figures in column #1, and that will not be changed by the proposed construction
- #3 Indicate the dimensions, area (in square feet) and percentages that will result from your proposed construction
- #4 Indicate the variance requested (subtract #3 from #1)

Columns →	#1	#2	#3	#4
Open Area (sq. ft.) as a % of lot area	85		86.3	
Front yard dimension (ft.)	30		38.6	
Left side yard dimension (ft.)	15	11.40	11.40	3.60
Right side yard dimension (ft.)	15		21.96	
Both side yards combined (ft.)	35	33.36	33.36	1.64
Rear yard dimension (ft.)	35		144.34'	
Max. width of structure as a % of lot width (Structure width divided by lot width)	65		43.8	
Min. livable floor area, each dwelling	1200		2690	

List below any OTHER variances, Special Permits requested
(Section of the Zoning Law) (Description)

Please state below all reasons to support your appeal or application. Attach other sheets as needed to support your appeal/application

Dated FEBRUARY 19, 2020


Signature of Applicant/Appellant GUY DONAHUE

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VILLAGE OF SKANEATELES



February 14, 2020

To: Village of Skaneateles
Planning Board & Zoning Board of Appeals
26 Fennell Street, Skaneateles, NY 13052

Re: Narrative supporting variance request for:
58 E Elizabeth Street, Skaneateles, NY 13052

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The property owners and full-time residents, Ovid Neulander & Donna Ciaccio, are proposing a second-floor addition along with alterations to adjacent areas of the existing second floor. These developments will modify the second-floor from three bedrooms with one bathroom to three bedrooms with two bathrooms.

However, given this home is a pre-existing non-conforming structure in that it fails to meet the minimum required, one side-yard, and combined side-yards, we are appealing to the Village in approving our request for an Area Variance.

This proposal; is with-in the footprint of the existing building; will result in no changes or disturbances to the site; will not add to building height; and does not increased non-conformity of this structure.

Therefore, we submit that;

- No undesirable change will be produced in the character of the neighborhood or a detriment to nearby properties will be created by the granting of the area variance.
- The requested area variance is not substantial.
- The proposed variance will have no adverse effect or impact on the physical or environmental conditions in the neighborhood or district.
- The alleged difficulty, pre-existing non-conforming structure, was not self-created.

Thank-you for your consideration in this matter,
Guy Donahoe

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: ADDITION & ALTERATIONS FOR OVID NEULANDER & DONNA CIACCIO			
Project Location (describe and attach a location map): 58 E. ELIZABETH STREET, SKANEATELES, NY 13152			
Brief Description of Proposed Action: SECOND FLOOR ADDITION TO EXISTING SINGLE FAMILY RESIDENCE			
Name of Applicant or Sponsor: DONAHOE GROUP		Telephone: 315.673.2883	
		E-Mail: info@donahogroup.com	
Address: 4503 NW TOWNLINE ROAD			
City/PO: MARCELLUS		State: NY	Zip Code: 13108
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: VILLAGE OF SKANEATELES; ZBA VARIANCE APPROVAL & BUILDING PERMIT			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		<u> .51 </u> acres	
b. Total acreage to be physically disturbed?		<u> 0 </u> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<u> .51 </u> acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

VILLAGE OF SKANEATELES

		NO	YES	N/A
5. Is the proposed action,	a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____		<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alteration in square feet or acres: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

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14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input type="checkbox"/>

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>GUY DONAHUE</u>	Date: <u>2/14/2020</u>	
Signature: <u>[Signature]</u>	Title: <u>PRESIDENT</u>	

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VILLAGE OF SKANEATELES

PRINT FORM

Project: _____
 Date: _____

**Short Environmental Assessment Form
 Part 2 - Impact Assessment**

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

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PRINT FORM

Project: _____

Date: _____

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

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- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

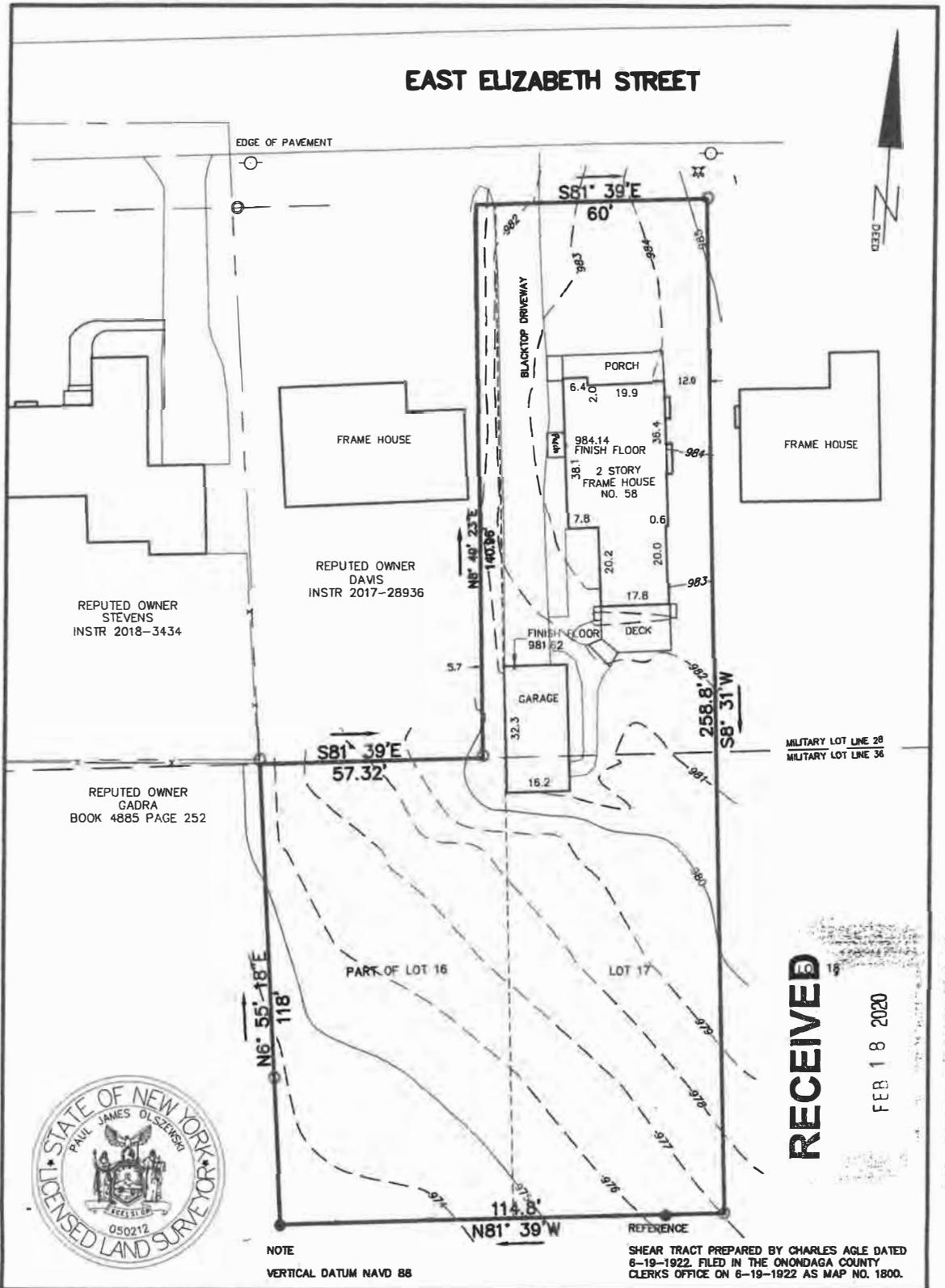
Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

EAST ELIZABETH STREET



NOTE
VERTICAL DATUM NAVD 88

SHEAR TRACT PREPARED BY CHARLES AGLE DATED
6-19-1922. FILED IN THE ONONDAGA COUNTY
CLERKS' OFFICE ON 6-19-1922 AS MAP NO. 1800.

SURVEY SUBJECT TO ANY STATE OF FACTS AN
ACCURATE AND UP TO DATE ABSTRACT OF TITLE
WILL SHOW.

THE UNDERSIGNED SURVEYOR HEREBY CERTIFIES
THAT THIS IS AN ACCURATE MAP OF AN ACTUAL
SURVEY COMPLETED 01-20-2020.

Paul J. Olszewski

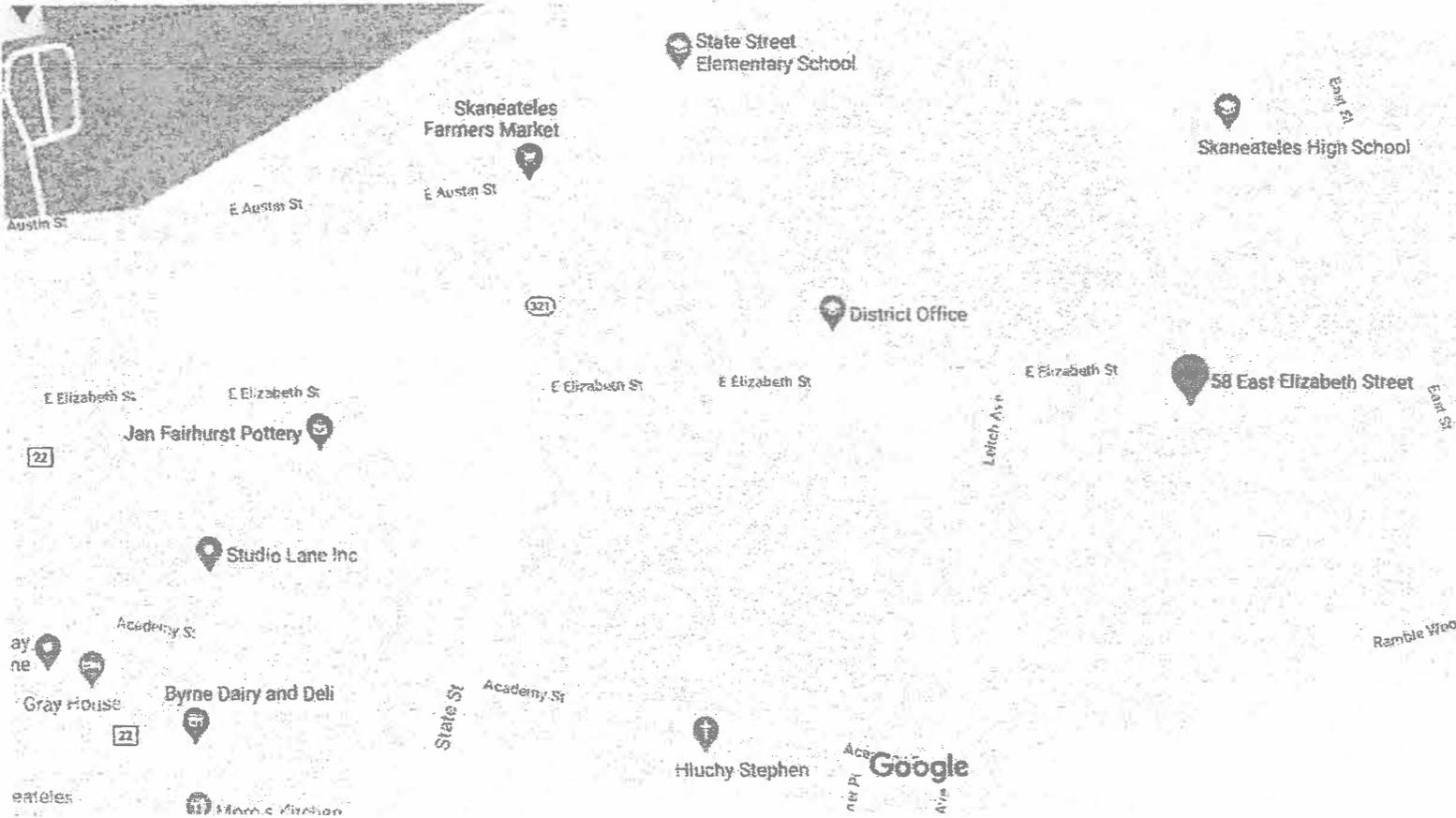
PAUL J. OLSZEWSKI, P.L.S. LICENSE No. 50212

PART OF LOTS 1
BLOCK No. 11
VILLAGE OF SKANEATELES
GRIFFIN'S 1870 MAP

PART OF MILITARY LOTS 28/36 VILLAGE OF SKANEATELES
COUNTY OF ONONDAGA STATE OF NEW YORK

PAUL JAMES OLSZEWSKI, P.L.S., PLLC
51 FENNEL STREET
SKANEATELES NEW YORK, 13152
315-488-5552 pjosurvey.com

Google Maps 58 E Elizabeth St



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VILLAGE OF SKANEATELES



LOCATION MAP

Untitled Map

Write a description for your map.

Legend

 58 E Elizabeth St



ADDITION & ALTERATIONS FOR:

OVID NEULANDER & DONNA CIACCIO

58 ELIZABETH STREET, SKANEATELES

VILLAGE OF SKANEATELES, NEW YORK 13152

PROJECT NO.: 19055

DATE: NOVEMBER 26, 2019 - ISSUED FOR PERMIT

DRAWING LIST:

ISSUED

A-1 - FIRST FLOOR PLAN	11/26/19
A-2 - SECOND FLOOR PLAN	11/26/19
A-3 - ELEVATION'S	11/26/19
A-4 - SECTION'S	11/26/19
A-5 - SECTION	11/26/19
A-6 - ENERGY CODE	11/26/19

GENERAL NOTES

DESIGN CRITERIA PER 2015 IRC & 2017 NYS UNIFORM CODE SUPPLEMENT

USE & OCCUPANCY CLASSIFICATION:
ONE FAMILY DWELLING

STRUCTURAL DESIGN LOADS:

- GROUND SNOW LOAD	- 50 PSF
- ROOF (EQUIVALENT)	- 40 PSF
- UNINHABITABLE ATTICS (b)	- 10 PSF
- UNINHABITABLE ATTICS LIMITED STORAGE (b,g)	- 20 PSF
- HABITABLE ATTICS & ATTICS SERVED W/ FIXED STAIRS	- 30 PSF
- BALCONIES(exterior)& decks(e)	- 40 PSF
- FIRE ESCAPES	- 40 PSF
- GUARDS & HANDRAILS (d)	- 200 PSF(h)
- GUARD IN-FILL COMPONENTS(f)	- 50 PSF(h)
- PASSENGER VEHICLE GARAGE (a)	- 50 PSF(a)
- ROOMS OTHER THAN SLEEPING ROOMS (1ST & 2ND FL'R.)	- 40 PSF
- SLEEPING ROOMS	- 30 PSF
- STAIRS	- 40 PSF(c)

CONTACT ARCHITECT OR REFER TO 2015 IRC FOR FOOTNOTES

- SOIL BEARING MIN. 3,000 PSF
- JOISTS, HEADERS, & BEAMS SHALL BE WESTERN SPF #2 OR BETTER UNLESS NOTED OTHERWISE
SPF: Fb=1100 PSI, Fv=70 PSI, E=1,400,000
- ALL WINDOW & EXTERIOR DOOR HEADERS TO BE (2) 2x10 UNLESS OTHERWISE NOTED.
- PROVIDE DOUBLE STUDS UNDER BEAMS & HEADERS TO PROVIDE SOLID BEARING POINTS FOR PROPER TRANSFER OF LOADS TO THE FOUNDATION
- PROVIDE DOUBLE FLOOR JOISTS AT OPENINGS & AT BUILDING ENDS

- ALL PRE-ENGINEERED ROOF & FLOOR SYSTEMS AND THEIR BLOCKING / BRACING TO BE CERTIFIED BY THE MANUFACTURER. THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF TRUSS MANUFACTURER SHOP DRAWINGS TO THE ARCHITECT PRIOR TO CONSTRUCTION TO ALLOW FOR COORDINATION OF TRUSS ENGINEERING.
- R302.11 FIRE BLOCKING - IN COMBUSTIBLE CONSTRUCTION SHALL BE PROVIDED TO CUT OFF BOTH VERT. & HORIZ. CONCEALED DRAFT OPENINGS & TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES & BETWEEN A TOP STORY & THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
-IN CONCEALED SPACES OF WALLS, INCLUDING FURRED SPACES, PARALLEL ROWS OF STUDS OR STAGGERED STUDS VERTICALLY AT THE CEILING & FLOOR LEVELS, AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FT.
-AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS & COVE CEILINGS.
-IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP & BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL BE PROTECTED WITH ½" GWB (R302.7)
-AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES & WIRES AT CEILING & FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME & PRODUCTS OF COMBUSTION.
-FOR THE FIREBLOCKING OF CHIMNEYS & FIREPLACES, SEE SECTION R1003.19
-FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

- R302.12 DRAFTSTOPPING - IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE & BELOW THE CONCEALED SPACE OF A FLOOR-CEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 S.F. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROX. EQUAL AREAS. WHERE THE ASSEMBLY IS ENCLOSED BY A FLOOR MEMBRANE ABOVE & A CEILING AREA MEMBRANE BELOW, DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR-CEILING ASSEMBLIES UNDER THE FOLLOWING CIRCUMSTANCES:
1. CEILING IS SUSPENDED UNDER THE FLOOR FRAMING.
2. FLOOR FRAMING IS CONSTRUCTED OF TRUSS-TYPE OPEN-WEB OR PERFORATED MEMBERS.
- SMOKE DETECTING ALARM DEVICES SHALL BE DIRECT WIRED & CONFORM TO SECTION R314 OF THE RESIDENTIAL CODE OF N.Y.S. & NFPA 72.
- CARBON MONOXIDE ALARM DEVICES SHALL BE DIRECT WIRED WHERE REQUIRED BY (CONFORM TO) SECTION R315 OF THE RESIDENTIAL CODE OF N.Y.S. & NFPA 72.
- ENERGY EFFICIENCY SHALL COMPLY WITH THE 2015 IECC AS MODIFIED BY THE 2016 N.Y.S. SUPPLEMENT TO THE ENERGY CONSERVATION CONSTRUCTION CODE.
- MECHANICAL SYSTEMS SHALL COMPLY WITH SECTION M1201 OF THE 2015 IRC, IMC, IFGC, AND THE 2017 N.Y.S. UNIFORM CODE SUPPLEMENT.
- PLUMBING SYSTEMS SHALL COMPLY WITH SECTION P2501 OF THE 2015 IRC, 2015 IPC, THE 2017 N.Y.S. UNIFORM CODE SUPPLEMENT, & ANY LOCAL PLUMBING CODES.
- ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE W/ THE SECTION E3401 OF THE 2015 IRC, THE 2017 N.Y.S. UNIFORM CODE SUPPLEMENT & THE NEC (NATIONAL ELECTRICAL CODE)/ NFPA 70.
- ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR - ANY DISCREPANCIES SHALL BE BROUGHT TO THE THE ATTENTION OF THE ARCHITECT

SYMBOLS

- (SD) - SMOKE DETECTOR
- (CM) - CARBON MONOXIDE ALARM

FLOOR NOTES

- THIS FLOOR PLAN AND/OR FRAMING PLAN REPRESENTS INTENT OF DESIGN ONLY. THE ENGINEERED FLOOR MFG. SHALL PROVIDE ENGINEERING TO ACHIEVE THIS DESIGN & SUBMIT TO THE CONTRACTOR THE PROPOSED FLOOR LAYOUT INCLUDING THE LOCATION OF BEARING POINTS, JOIST BLOCKING, WEB STIFFENERS, BEAM ASSEMBLY, ETC. IT SHALL BE THE RESPONSIBILITY OF THE FLOOR MANUFACTURER TO NOTIFY THE ARCHITECT OF ANY LOCATIONS WHERE ADDITIONAL BEARING POINTS ARE NECESSARY AND SHOW THE REQUIRED BEARING BASED ON THE CALCULATED LOAD.
- THE ENGINEERED FLOOR MANUFACTURER SHALL DESIGN THE REQUIRED BEAMS USING A MULTIPLE SPAN DESIGN.
- THE ENGINEERED FLOOR MANUFACTURER SHALL PROVIDE ALL CONNECTORS & ANY REQUIRED MECHANICAL FASTENING FOR THE FLOOR SYSTEM.
- THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF THE FLOOR MANUFACTURER'S SHOP DRAWINGS TO THE ARCHITECT PRIOR TO CONSTRUCTION TO ALLOW FOR COORDINATION OF FLOOR SYSTEM.

ROOF NOTES

- THIS ROOF PLAN AND/OR FRAMING PLAN REPRESENTS INTENT OF DESIGN ONLY. TRUSS MFG. SHALL PROVIDE ENGINEERING TO ACHIEVE THIS DESIGN & SUBMIT TO THE CONTRACTOR THE PROPOSED TRUSS LAYOUT INCLUDING THE LOCATION OF BEARING POINTS, GIRDER TRUSS PROFILES, ETC. IT SHALL BE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER TO NOTIFY THE ARCHITECT OF ANY LOCATIONS WHERE ADDITIONAL BEARING POINTS ARE NECESSARY AND SHOW THE REQUIRED BEARING BASED ON THE CALCULATED LOAD.
- THE TRUSS MANUFACTURER SHALL PROVIDE ALL TRUSS TO TRUSS CONNECTIONS & ANY REQUIRED MECHANICAL FASTENING FOR TRUSS UP-LIFTS.
- THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF TRUSS MANUFACTURER SHOP DRAWINGS TO THE ARCHITECT PRIOR TO CONSTRUCTION TO ALLOW FOR COORDINATION OF TRUSS ENGINEERING

SQUARE FOOTAGE CALCULATIONS

	EXISTING	ADDITION	PROPOSED
RESIDENCE ('CONDITIONED SPACE')			
FIRST FLOOR	1,327 S.F.	000 S.F.	1,327 S.F.
SECOND FLOOR	818 S.F.	545 S.F.	1,363 S.F.
FINISHED LOWER LEVEL	000 S.F.	000 S.F.	000 S.F.
TOTAL	2,145 S.F.	545 S.F.	2,690 S.F.

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VILLAGE OF SKANEATELES

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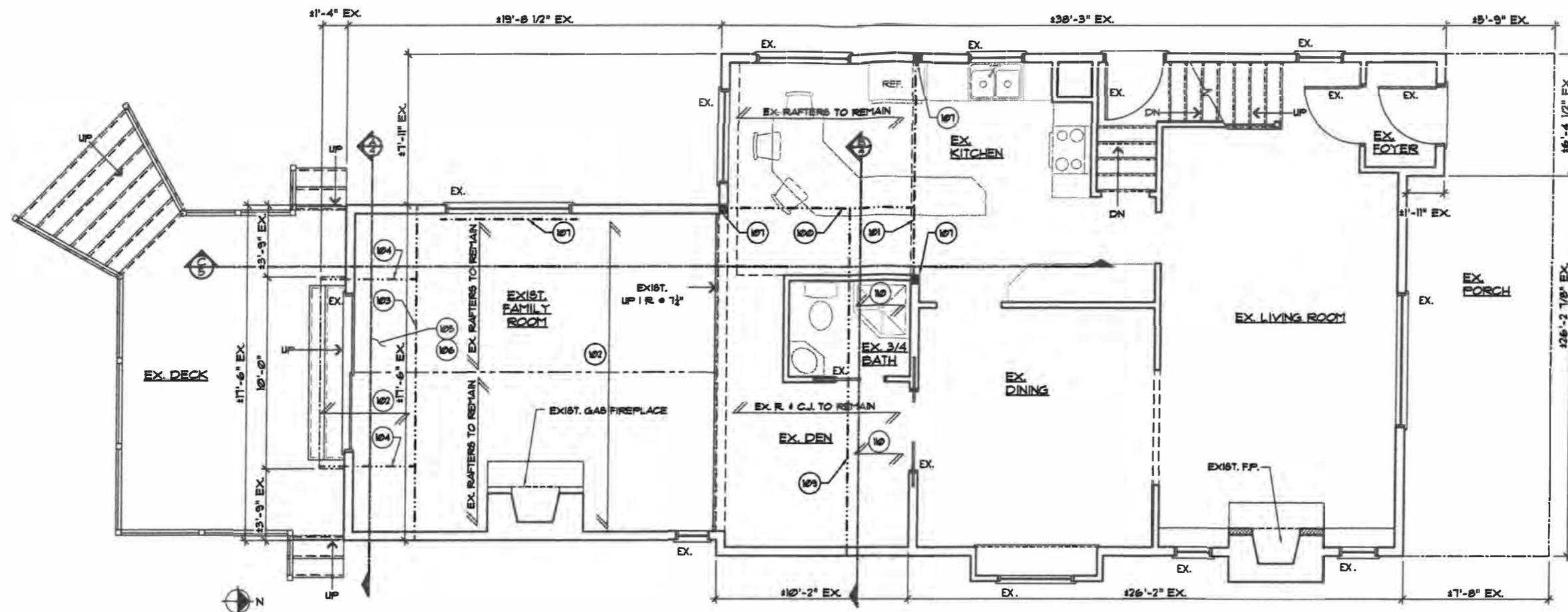
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FIRST FLOOR PLAN
 1/4" = 1'-0"

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FIRST FLOOR STRUCTURAL NOTES:

- (A) ALL EXTERIOR WALLS TO BE 3 1/2" (2x6 @ 16" o.c.) & ALL INTERIOR TO BE 3 1/2" (2x4 STUDS @ 16" o.c.) - UNLESS NOTED OTHERWISE.
- (B) PROVIDE DOUBLE JACK STUDS UNDER ALL HEADERS & BEAMS TO PROVIDE SOLID BEARING POINTS FOR PROPER TRANSFER OF LOADS TO FOUNDATION UNLESS OTHERWISE NOTED.
- (C) ALIGN FLOOR JOISTS ON FIRST & SECOND FLOORS TO FACILITATE MECHANICAL & ELECTRICAL INSTALLATION
- (102) TWO (2) 2x12 FLOOR JOIST @ 16" o.c. - DOUBLE EVERY THIRD JOIST (12" o.c. EQUIVALENT) w/ APPROVED BRIDGING
- (103) THREE (3) 2x12 FLOOR JOIST - w/ JOIST HANGERS
- (104) TWO (2) 2x12 FLOOR JOIST
- (105) 2x12 SOLID BLOCKING - ATTACHED TO EXIST. RAFTERS & CANTILEVERED JOISTS.
- (106) MODIFY EXIST RAFTERS TO ALLOW SPACE FOR CANTILEVER JOISTS - ATTACH JOISTS TO EXIST. RAFTERS.
- (107) SOLID THREE (3) 2x6 STUDS FROM BEAM ABOVE BLOCKED SOLID TO FOUNDATION BELOW.
- (108) MINIMUM OF THREE (3) 2x12 HEADER REQUIRED - CONTRACTOR TO FIELD VERIFY EXIST. HEADER CONSTRUCTION & CONTACT ARCHITECT FOR FINAL DESIGN.
- (109) THREE (3) 2x12 FLOOR BEAM - w/ JOIST HANGERS
- (110) 2x6 OR 2x4 FLOOR JOIST @ 16" o.c.

VILLAGE OF SKANEATELES

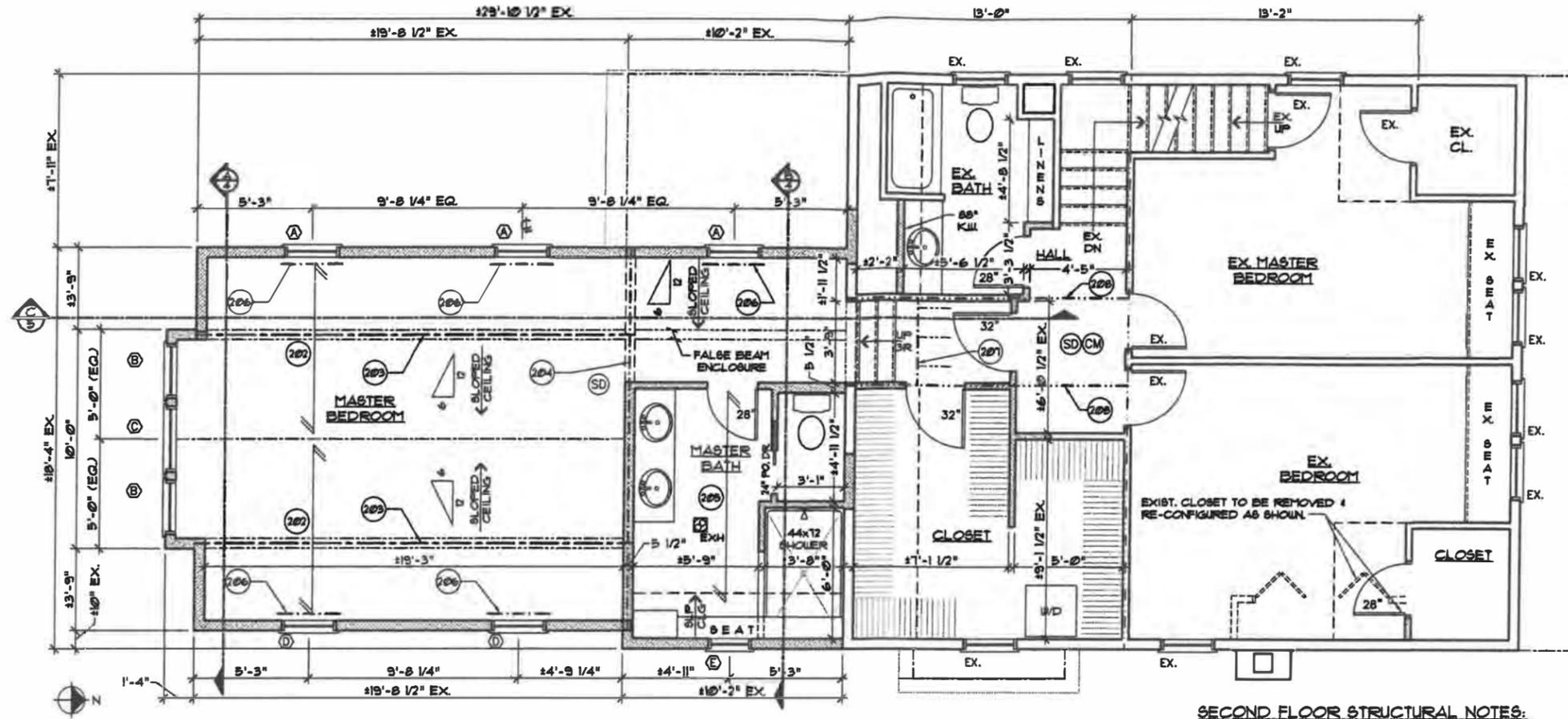
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ADDITION & ALTERATIONS FOR:
OVID NEULANDER & DONNA CIACCIO
 58 ELIZABETH STREET
 VILLAGE OF SKANEATELES, NEW YORK

FIRST FLOOR PLAN

DRAWN L&A	DATE
CHECKED	
DATE 1/26/19	
PROJECT 19055	



SECOND FLOOR PLAN

1/4" = 1'-0"

WINDOW SCHEDULE

SYM	UNIT	RO.	REMARKS	EGRESS
A	TW2442	2'-6 1/8" x 4'-4 7/8"	ANDERSEN TILT-WASH DH	N
B	TWT2415/TW2452	2'-6 1/8" x 7'-0 3/4"	ANDERSEN TRANSOM/TILT-WASH DH	N
C	TWT210XX/TW21052	3'-0 1/8" x 8'-5"	ANDERSEN TRANSOM (CUST)/TILT-WASH DH	Y
D	AW251	2'-4 7/8" x 2'-4 7/8"	ANDERSEN AWNING	N
E	TW2036	2'-2 1/8" x 3'-8 1/8"	ANDERSEN TILT-WASH DH	N

NOTE:

ALL WINDOWS ARE ANDERSEN 400 SERIES, UNLESS OTHERWISE NOTED. VERIFY ALL RO. & M.O. DIMENSIONS W/ MANUFACTURER.

SECOND FLOOR STRUCTURAL NOTES:

- 206 ALL EXTERIOR WALLS TO BE 5 1/2" (2x6 @ 16" O.C.) & ALL INTERIOR WALLS TO BE 3 1/2" (2x4 STUDS @ 16" O.C.) UNLESS NOTED OTHERWISE.
- 207 PROVIDE DOUBLE JACK STUDS UNDER ALL HEADERS, BEAMS TO PROVIDE SOLID BEARING POINTS FOR PROPER TRANSFER OF LOADS TO FOUNDATION.
- 208 2x10 RAFTERS @ 16" O.C. W/ SIMPSON SEISMIC/HURRICANE TIES OR SDWC TRUSS/RAFTER SCREWS.
- 209 (3) P4"x14" LVL FURLIN BEAM W/ (3) 2x6 STUDS SOUTH END OF BEAM - BOTTOM OF BEAM @ 8'-2 1/2"
- 204 (3) P4"x14" LVL BEAM W/ (3) 2x6 STUDS EA. END OF BEAM TOP OF BEAM @ 8'-2 1/2"
- 205 2x6 CEILING JOISTS @ 16" O.C.
- 206 (2) 2x6 HEADER
- 207 (2) P4"x14" LVL (2.0E) RAFTER HEADER W/ SIMPSON HANGER NO. HUC2B-2 FOR EXIST. RAFTERS & C.J.
- 208 (3) P4"x14" LVL (2.0E) RAFTER / FLUSH BEAM W/ SIMPSON HANGER NO. HUC4B FOR 207 RAFTER HD'R.



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 MARCELLUS, NEW YORK 13108
 315 673 2883 FAX 315 673 3300

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SECOND FLOOR PLAN

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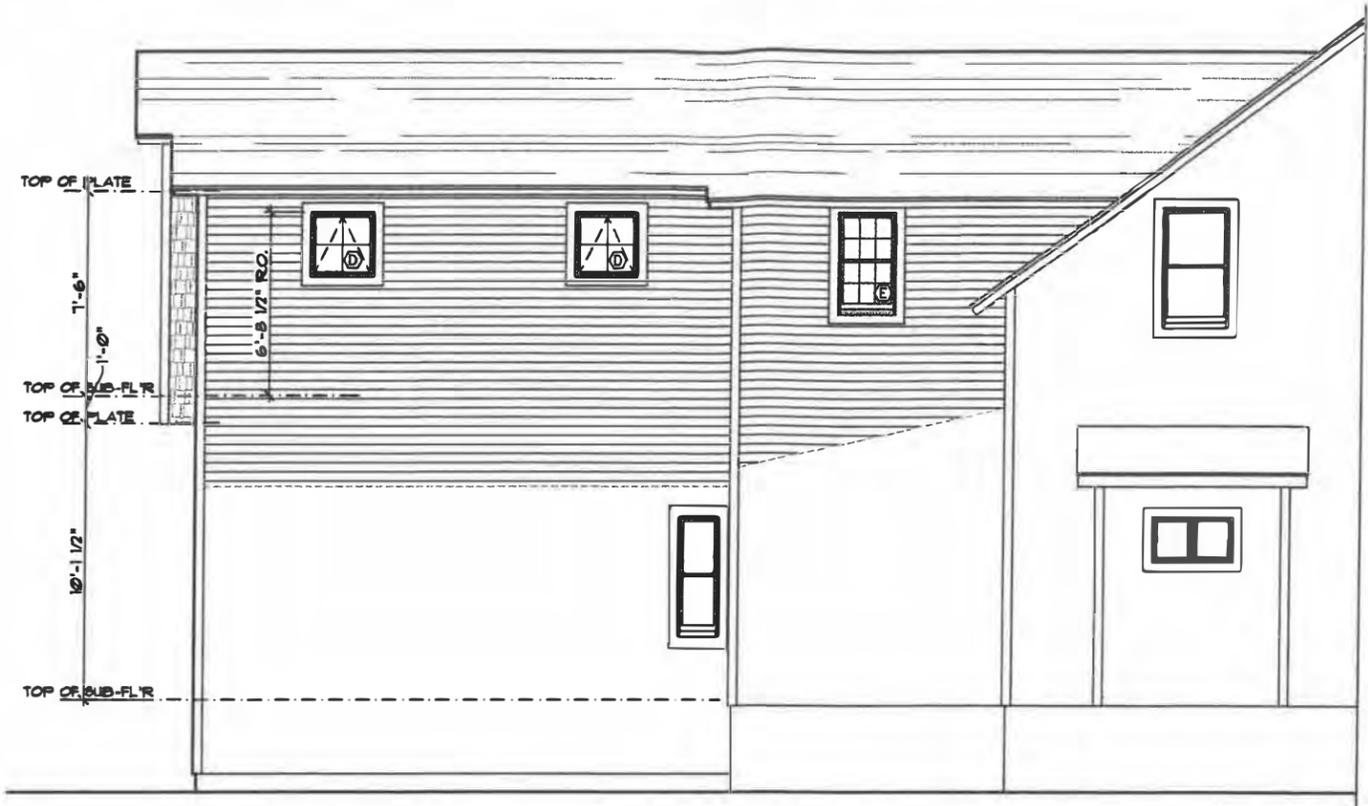
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A-2



EAST ELEVATION
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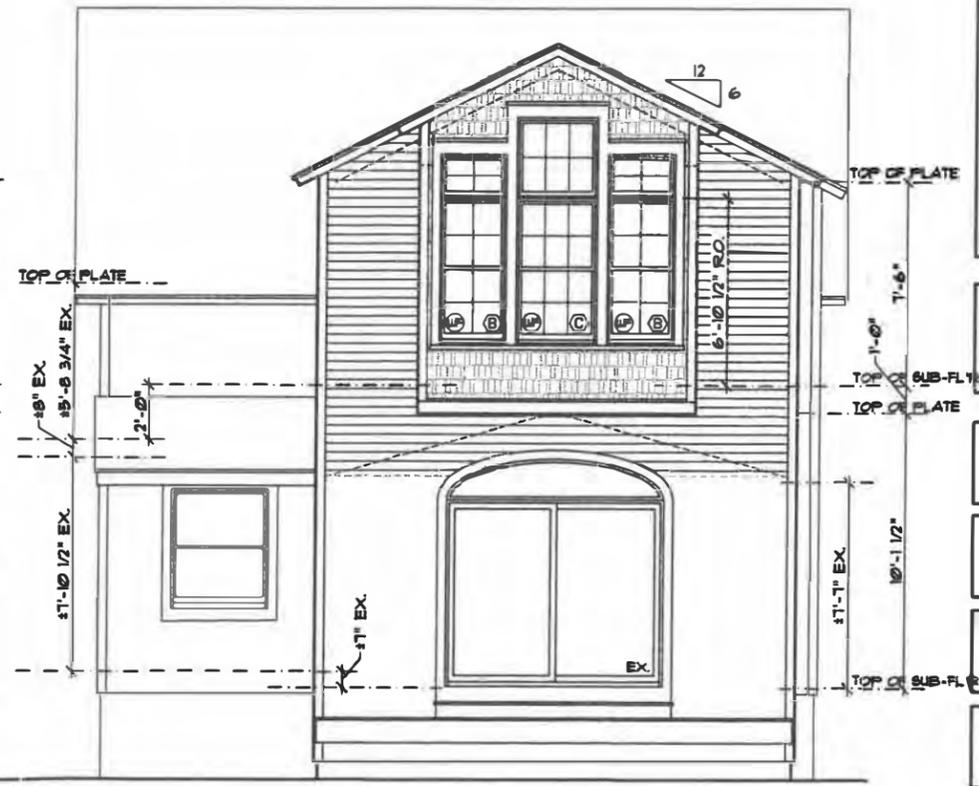
VILLAGE OF SKANEATELES

ADDITION & ALTERATIONS FOR:
 OVID NEULANDER & DONNA CIACCIO
 58 ELIZABETH STREET
 VILLAGE OF SKANEATELES, NEW YORK

ELEVATIONS



WEST ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"

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A-3



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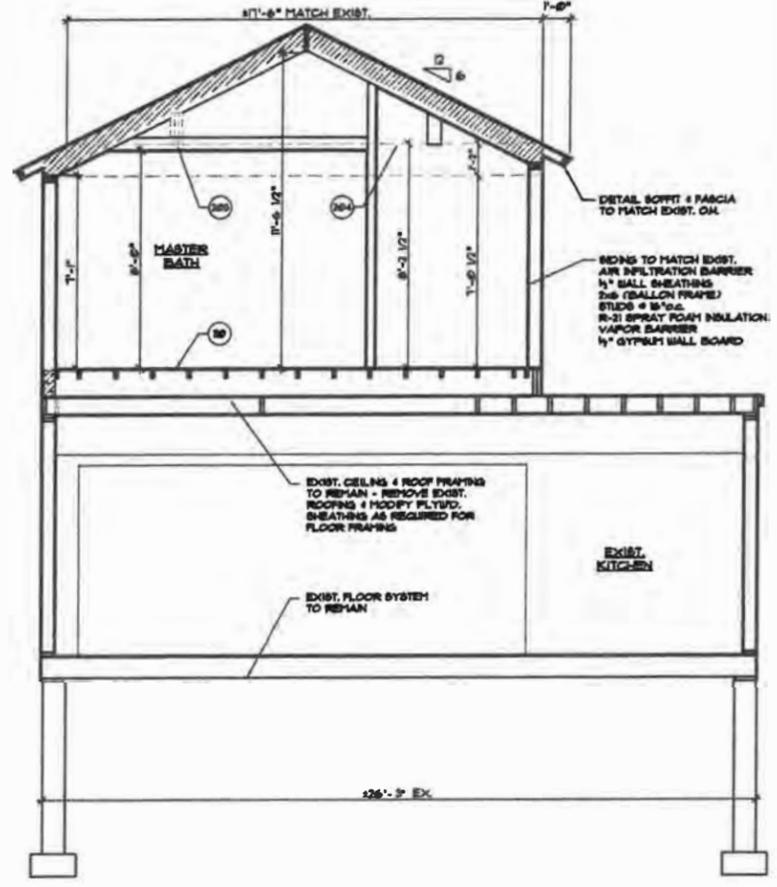
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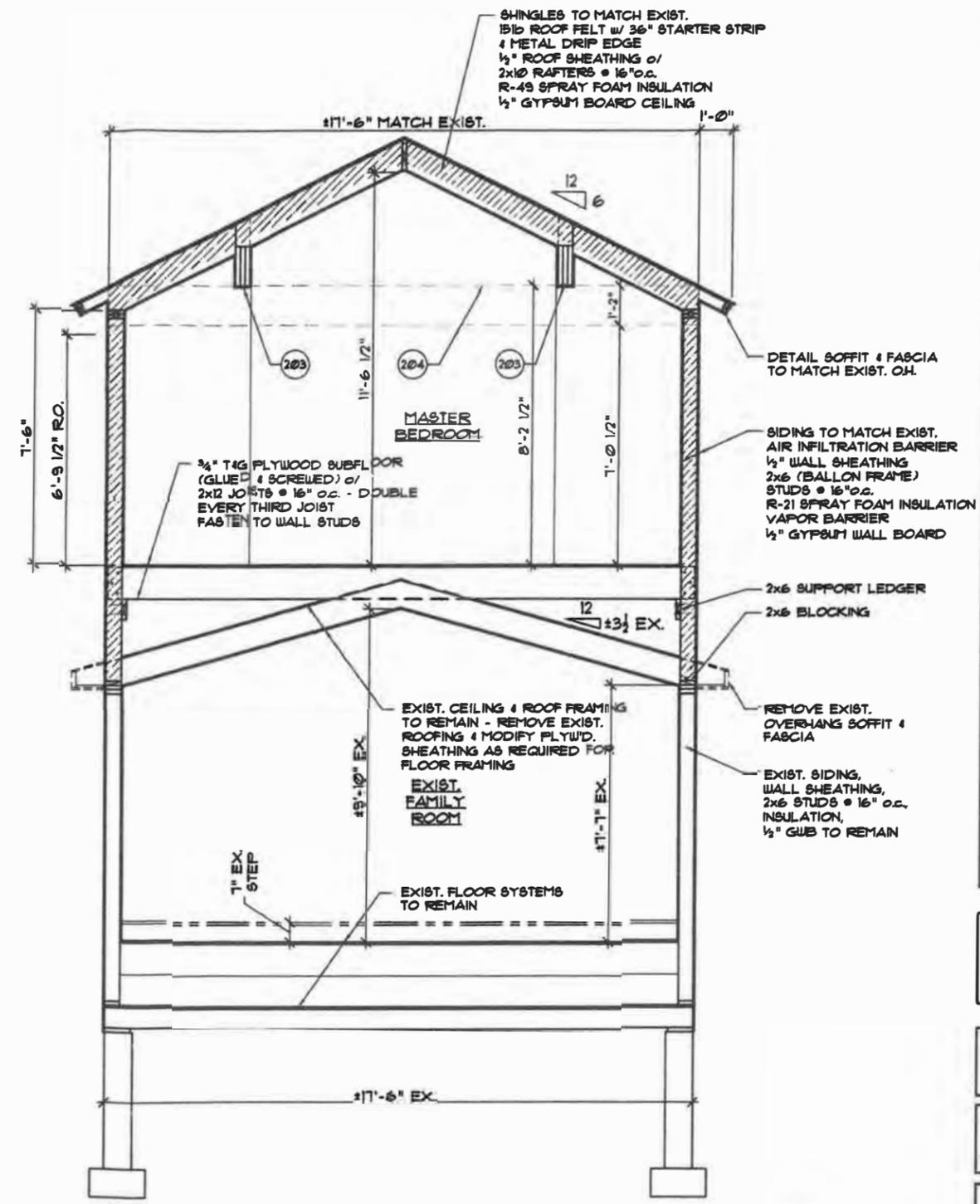
ADDITION & ALTERATIONS FOR:
OVID NEULANDER & DONNA CIACCIO
 58 ELIZABETH STREET
 VILLAGE OF SKANEATELES, NEW YORK

SECTIONS

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DATE 1/26/19	SUBMISSION
PROJECT 19055	



BUILDING SECTION 'B'
 1/4" = 1'-0"



BUILDING SECTION 'A'
 3/8" = 1'-0"

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2015 I.R.C. PER 2017 N.Y.S. SUPPLEMENT

APPENDIX J - EXISTING BUILDINGS & STRUCTURES
SECTION N1107 (R501) AS AMENDED BY SECTION AJ104 - EXISTING BUILDINGS

AJ104.1.1 ADDITIONS, ALTERATIONS OR RENOVATIONS TO AN EXISTING BUILDING SYSTEM OR PORTION THEREOF SHALL CONFORM TO THE PROVISIONS OF SECTION N1107 OF THIS CODE AS THEY RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING THE UNALTERED PORTION(S) OF THE EXISTING BUILDING OR BUILDING SYSTEM TO COMPLY WITH THIS CHAPTER. AN ADDITION SHALL BE DEEMED TO COMPLY WITH THIS CHAPTER IF THE ADDITION ALONE COMPLIES OR IF THE EXISTING BUILDING AND ADDITION COMPLY WITH THIS CHAPTER AS A SINGLE BUILDING. ADDITIONS, ALTERATIONS, OR RENOVATIONS SHALL NOT CREATE AN UNSAFE OR HAZARDOUS CONDITION OR OVERLOAD EXISTING BUILDING SYSTEMS.

EXCEPTION: THE FOLLOWING NEED NOT COMPLY PROVIDED THE ENERGY USE OF THE BUILDING IS NOT INCREASED:

- STORM WINDOWS INSTALLED OVER EXISTING FENESTRATION.
- GLASS ONLY REPLACEMENTS IN AN EXISTING SASH AND FRAME. PROVIDED THE U-FACTOR AND THE SOLAR HEAT GAIN COEFFICIENT (SHGC) WILL BE EQUAL TO OR LOWER THAN BEFORE THE GLASS REPLACEMENT.
- ALTERATIONS, RENOVATIONS OR REPAIRS TO ROOF/CEILING, WALL OR FLOOR CAVITIES WHICH ARE INSULATED TO FULL DEPTH WITH INSULATION HAVING A MINIMAL NOMINAL VALUE OF R-3.0/INCH.
- ALTERATIONS, RENOVATIONS OR REPAIR TO WALLS AND FLOORS, WHERE THE EXISTING STRUCTURE IS WITHOUT FRAMING CAVITIES & NO NEW FRAMING CAVITIES ARE CREATED.
- RE-ROOFING WHERE NEITHER THE SHEATHING NOR THE INSULATION IS EXPOSED. ROOFS WITHOUT INSULATION IN THE CAVITY & WHERE THE SHEATHING OR INSULATION IS EXPOSED DURING THE RE-ROOFING SHALL BE INSULATED EITHER ABOVE OR BELOW THE SHEATHING.
- REPLACING OF EXISTING DOORS THAT SEPARATE CONDITIONED SPACE FROM THE EXTERIOR SHALL NOT REQUIRE THE INSTALLATION OF A VESTIBULE OR REVOLVING DOOR, PROVIDED, HOWEVER, THAT AN EXISTING VESTIBULE THAT SEPARATES A CONDITIONED SPACE FROM THE EXTERIOR SHALL NOT BE REMOVED.
- AN ALTERATION THAT REPLACES LESS THAN 50 PERCENT OF THE LUMINAIRES IN A SPACE, PROVIDED THAT SUCH ALTERATION DOES NOT INCREASE THE INSTALLED INTERIOR LIGHTING POWER.
- AN ALTERATION THAT REPLACES ONLY THE BULB & BALLAST WITHIN THE EXISTING LUMINAIRES IN A SPACE PROVIDED THAT SUCH ALTERATION DOES NOT INCREASE THE INSTALLED INTERIOR LIGHTING POWER

SECTION N1102 (R402) - BUILDING THERMAL ENVELOPE - GENERAL (PRESCRIPTIVE)
COMPLIANCE BASED ON TABLE N1102.1.2 (R402.1.2) CLIMATE ZONE 5A

	PROPOSED	CODE
EXTERIOR WALLS	R=21	R=20 OR R=13+5 C.I. (h)
ROOF / CEILING	R=49	R=49
FLOOR	R=30	R=30 (g)
MASS WALL	R=17	R=13/17
BASEMENT WALL (c)	R=15 C.I.	R=15/19
CRAWL SPACE WALL (c)	R=15 C.I.	R=15/19
SLAB & DEPTH (d)	R=10, 2 FT.	R=10, 2 FT.
FENESTRATION (b)	U=.32	U=.32
SKYLIGHTS (b)	U=.55	U=.55
GLAZED FENESTRATION SHGC (b,e)	NR	NR

* - CONTACT ARCHITECT OR REFER TO 2015 IRC FOR FOOTNOTES

FENESTRATION AIR LEAKAGE: WINDOWS, SKYLIGHTS AND SLIDING DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT, WHEN TESTED ACCORDING TO NFRC 400 OR AAMA/WDMA/CSA 101/LS2/A440 BY AN ACCREDITED, INDEPENDENT LABORATORY & LISTED & LABELED BY THE MANUFACTURER.

DOCUMENTATION OF THE FENESTRATION PRODUCTS LISTING THE U-FACTORS AND AIR INFILTRATION RATES OF EACH INDIVIDUAL PRODUCT SHALL BE PROVIDED TO THE CODE ENFORCEMENT OFFICER & THE ARCHITECT BY THE CONTRACTOR FROM THE PRODUCT SUPPLIERS.

ACCESS HATCHES & DOORS - HAVE TO BE WEATHERSTRIPPED AND INSULATED TO MATCH THE SURROUNDING SURFACES. VERTICAL ACCESS DOORS SHALL BE PERMITTED TO MEET THE FENESTRATION REQUIREMENTS OF AN EXTERIOR DOOR.

ENERGY CODE NOTES

- THE CONTRACTOR SHALL PROVIDE A CLASS I OR II VAPOR RETARDER (PER THE IRC 702.7 - AS AMENDED) ON THE INTERIOR SIDE OF THE FRAME WALLS. A CLASS III VAPOR RETARDER SHALL BE PERMITTED WHERE ANY ONE OF THE FOLLOWING CONDITIONS ARE MET:
 - VENTED CLADDING
 - R-7.5 CONTINUOUS INSULATION OVER 2x6 STUD WALLS (R-5 OVER 2x4 STUD WALLS).
 - SPRAY FOAM INSULATION (APPLIED TO INTERIOR STUD CAVITY) WITH MAXIMUM PERM OF 1.5 PERMS AT THE INSTALLED THICKNESS THAT MEETS OR EXCEEDS PROPOSED WALL R-21 INSULATION.
- THE CONTRACTOR SHALL PROVIDE THE AIR BARRIER AS LISTED IN TABLE R402.4.1.1 AND SHOWN ON THE DOCUMENTS.
- FACTORY BUILT FIREPLACE UNITS SHALL BE LISTED, LABELED AND TESTED WITH TIGHT FITTING DOORS PER UL 127. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION STATING THE FACTORY FIREPLACE COMPLIES WITH THESE PROVISIONS.
- THE CONTRACTOR SHALL PROVIDE A PERMANENT CERTIFICATE THAT LISTS THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON THE CEILING ROOF, WALLS, FOUNDATION (SLAB, BASEMENT WALL, CRAWLSPACE WALL & FLOOR) & DUCTS OUTSIDE THE CONDITIONED SPACES; U-FACTORS FOR FENESTRATION & THE SHGC COEFFICIENT OF FENESTRATION; THE RESULTS OF DUCT SYSTEM & BUILDING ENVELOPE AIR LEAKAGE TESTING DONE ON THE BUILDING. WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTIFICATE SHALL LIST GAS-FIRED UNVENTED ROOM HEATER, ELECTRIC FURNACE OR BASEBOARD ELECTRIC HEATER IS INSTALLED IN THE RESIDENCE, THE CERTIFICATE SHALL LIST "GAS-FIRED UNVENTED ROOM HEATER", "ELECTRIC FURNACE" OR "BASEBOARD ELECTRIC HEATER", AS APPROPRIATE. AN EFFICIENCY SHALL NOT BE LISTED FOR GAS-FIRED UNVENTED ROOM HEATERS, ELECTRIC FURNACES OR ELECTRIC BASEBOARD HEATERS.

THIS CERTIFICATE SHALL BE LOCATED IN A UTILITY ROOM WHERE THE FURNACE IS LOCATED OR AN APPROVED LOCATION INSIDE THE RESIDENCE. WHERE LOCATED ON A ELECTRIC PANEL, THE CERTIFICATE SHALL NOT COVER OR OBSTRUCT ANY OF THE PANELS LABELS.

ELECTRICAL ENERGY CODE REQUIREMENTS

THE ELECTRICAL CONTRACTOR SHALL PROVIDE A LIGHTING FIXTURE PLAN & SCHEDULE THAT DEMONSTRATES THAT 75% OF THE LAMPS ARE HIGH EFFICACY.

RECESSED LIGHTING -INSTALLED IN THE BUILDING ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. RECESSED LUMINAIRES SHALL BE IC RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT MORE THAN 2.0 CFM (0.944 L/S). ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR OF THE WALL OR CEILING.

LIGHTING EQUIPMENT (MANDATORY) - NOT LESS THAN 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMP.
EXCEPTION: LOW-VOLTAGE LIGHTING.

LIGHTING EQUIPMENT (MANDATORY) - FUEL GAS LIGHTING SYSTEMS SHALL NOT HAVE CONTINUOUSLY BURNING PILOT LIGHTS

MECHANICAL (HVAC) ENERGY CODE REQUIREMENTS

THE MECHANICAL CONTRACTOR SHALL SUPPLY THE ARCHITECT AND CODE ENFORCEMENT OFFICER THE FOLLOWING CALCULATIONS AND DOCUMENTATION FOR THE FOLLOWING REQUIREMENTS.

- CONTROLS (MANDATORY)
- PROGRAMMABLE THERMOSTAT.
 - HEAT PUMP SUPPLEMENTARY HEAT (MANDATORY)
 - HOT WATER BOILER OUTDOOR TEMPERATURE SETBACK.

DUCTS INSULATION (PRESCRIPTIVE) - SUPPLY & RETURN DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8 WHERE 3" OR MORE IN DIAMETER AND R-6 FOR LESS THAN 3" DIAMETER. SUPPLY & RETURN DUCTS IN OTHER PORTIONS OF THE BUILDING SHALL BE INSULATED TO A MINIMUM OF R-6 WHERE 3" OR MORE IN DIAMETER AND R-4.2 FOR LESS THAN 3" DIAMETER.
EXCEPTION: DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

DUCT SEALING (MANDATORY) - DUCTS, AIR HANDLERS & FILTER BOXES SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH THE 2015 IMC AND 2015 IRC.

EXCEPTIONS:
AIR IMPERMEABLE SPRAY FOAM PRODUCTS SHALL BE PERMITTED TO APPLIED WITHOUT ADDITIONAL JOINT SEALS.

FOR DUCTS HAVING A STATIC PRESSURE CLASSIFICATION OF LESS THAN 2" OF WATER COLUMN (500 PA), ADDITIONAL CLOSURE SYSTEMS SHALL NOT BE REQUIRED FOR CONTINUOUSLY WELDED JOINTS AND SEAMS, AND LOCKING-TYPE JOINTS AND SEAMS OF OTHER THAN THE SNAP-LOCK & BUTTON-LOCK TYPES.

DUCT TESTING (MANDATORY) - DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE FOLLOWING METHODS:
ROUGH IN TEST - TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE SYSTEM.

POSTCONSTRUCTION TEST - TOTAL LEAKAGE SHALL BE MEASURED WITH A PRESSURE DIFFERENTIAL OF 0.1 INCH W.G. (25 PA) ACROSS THE SYSTEM.
EXCEPTION - DUCTS LEAKAGE TEST IS NOT REQUIRED WHERE THE DUCTS AND AIR HANDLERS ARE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

WRITTEN REPORT OF THE RESULTS OF THE TESTS SHALL BE PROVIDED TO THE CODE OFFICIAL

DUCT TESTING (PRESCRIPTIVE) - THE TOTAL LEAKAGE OF DUCTS WHERE MEASURED IN ACCORDANCE WITH SECTION 403.3.3, SHALL BE AS FOLLOWS:
ROUGH IN TEST - TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 4 CFM (113.3 L/MIN.) PER 100 S.F. OF CONDITIONED FLOOR AREA WHERE THE AIR HANDLER IS INSTALLED AT THE TIME OF THE TEST. WHERE THE AIR HANDLER IS NOT INSTALLED AT THE TIME OF THE TEST, THE TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 3 CFM PER 100 S.F. OF CONDITIONED FLOOR AREA.

POSTCONSTRUCTION TEST - TOTAL LEAKAGE SHALL BE LESS THAN OR EQUAL TO 4 CFM (113.3 L/MIN.) PER 100 S.F. OF CONDITIONED FLOOR AREA.

EXCEPTION - DUCTS LEAKAGE TEST IS NOT REQUIRED WHERE THE DUCTS AND AIR HANDLERS ARE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE.

WRITTEN REPORT OF THE RESULTS OF THE TESTS SHALL BE PROVIDED TO THE CODE OFFICIAL.

BUILDING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS.

MECHANICAL SYSTEM PIPE INSULATION (MANDATORY) MECHANICAL SYSTEM PIPING SHALL BE INSULATED TO A MINIMUM OF R-3.

HOT WATER PIPE INSULATION (PRESCRIPTIVE) - INSULATION FOR HOT WATER PIPE SHALL BE A MIN. OF R-3 APPLIED TO THE FOLLOWING.

- PIPING 1/2 INCH AND LARGER IN DIA.
- PIPING SERVING MORE THAN ONE DWELLING UNIT.
- PIPING OUTSIDE THE CONDITIONED SPACE.
- PIPING FROM WATER HEATER TO A DISTRIBUTION MANIFOLD.
- PIPING LOCATED UNDER A FLOOR SLAB
- BURIED PIPING.

MECHANICAL VENTILATION (MANDATORY) - THE BUILDING SHALL BE PROVIDED VENTILATION THAT MEETS THE REQUIREMENTS OF THE IRC OR IMC AS APPLICABLE. OUTDOOR AIR INTAKES & EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.

403.6.1 - WHOLE HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICACY. MECHANICAL VENTILATION SYSTEM FANS SHALL MEET THE REQUIREMENTS OF TABLE 403.6.1.

EQUIPMENT SIZING AND EFFICIENCY RATING (MANDATORY) - HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH ACCA MANUAL S BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH ACCA MANUAL J. HEATING AND COOLING EQUIPMENT SHALL HAVE AN EFFICIENCY RATING EQUAL TO OR GREATER THAN THE MIN. REQUIRED BY FEDERAL LAW.

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2015 IECC AS AMENDED BY THE 2016 SUPPLEMENT TO THE NEW YORK STATE E.C.C.C.



RECEIVED

FEB 18 2020

VILLAGE OF SKANEATELES

ADDITION & ALTERATIONS FOR:
OVID NEULANDER & DONNA CIACCIO
58 ELIZABETH STREET
VILLAGE OF SKANEATELES, NEW YORK

ENERGY CODE

DRAWN
L&A

CHECKED

DATE
1/26/18

PROJECT
15255

DATE	

A-6

TABLE R301.2(1)
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

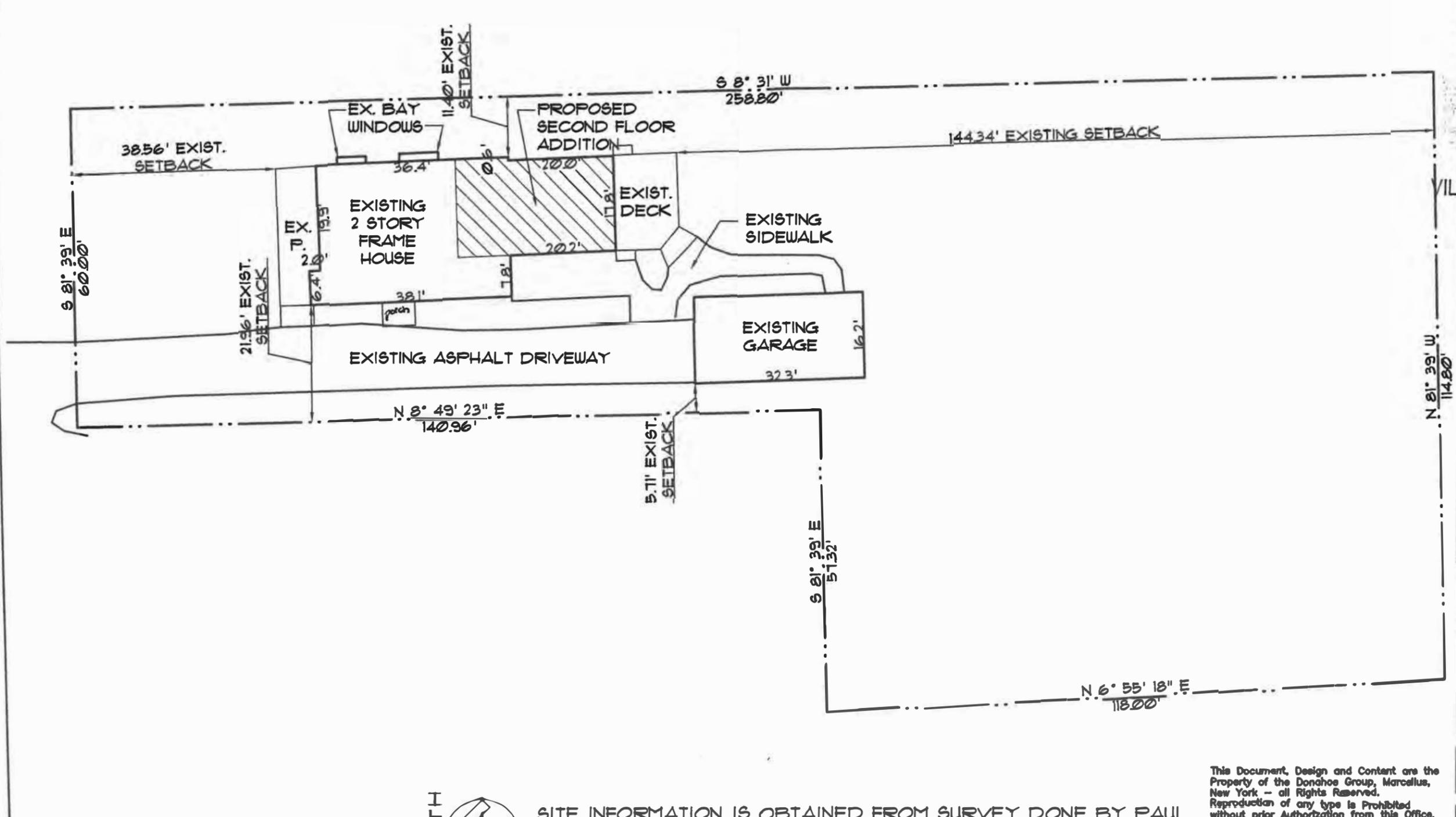
GROUND SNOW LOAD (psf)	50	90 NOM. 115 UTMATE	SPEED (mph)	TOPOGRAPHIC EFFECTS ^k	NO	SPECIAL WIND REGION ^l	NO	WIND-BORNE DEBRIS ZONE ^m	NO	SEISMIC DESIGN CATEGORY ^f	B	SUBJECT TO DAMAGE FROM WEATHERING ^g	SEVERE	42"	SLIGHT TO MODERATE	WINTER DESIGN TEMP ^h	2	ICE SHIELD UNDERLAYMENT REQUIRED ^h	YES	FLOOD HAZARDS	N/A	AIR FREEZING INDEX ⁱ	1500 OR LESS	MEAN ANNUAL TEMP ^j	47.7

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EAST ELIZABETH STREET

EDGE OF PAVEMENT



SITE PLAN

1" = 20'-0"



SITE INFORMATION IS OBTAINED FROM SURVEY DONE BY PAUL JAMES OLSZEWSKI, P.L.S., PLLC, DATED 01/20/2020 ADDITIONAL INFORMATION BY DONAHOE ARCHITECTURAL DESIGN, P.C.

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DONAHOE GROUP
4603 NORTHWEST TOWNLINE RD.
MARCELLUS, NEW YORK 13106
315 673 2883 FAX 315 673 3304

RECEIVED

FEB 18 2020

VILLAGE OF SKANEATELE

SITE PLAN FOR:
OVID NEULANDER &
DONNA CIACCIO
58 EAST ELIZABETH STREET
SKANEATELES, NY 13152

SITE PLAN

DRAWN
CFD

CHECKED

DATE
02/13/20

PROJECT
13055

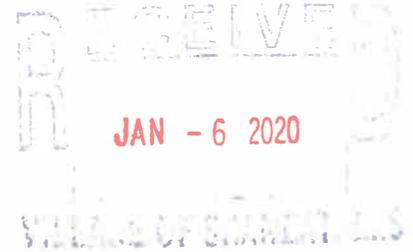
DATE	SUBMISSION

S-1



DOREEN A. SIMMONS
dsimmons@hancocklaw.com

January 6, 2020



VIA HAND DELIVERY

Chairman Bruce Kenan and Members
of the Village of Skaneateles Planning Board
26 Fennell Street
Skaneateles, New York 13152

**Re: "Weitsman Pool Improvements"
45 and 61 West Lake Street
January 14, 2020/Planning Board Meeting**

Dear Chairman Kenan and Members of the Planning Board:

As you know, as counsel to Adam Weitsman, a Weitsman pool improvements application/revision was submitted to the Village Planning Board on October 23, 2019. A summary of the project modifications were noted in that correspondence. Communications between our office, Meyer & Meyer and the Code Enforcement office clarified certain issues and generated a recent request for a final revision of plans to reflect very minor revisions from the October deliverable. Revised plans reflecting these three points are enclosed:

1. The pool gate and baluster detail have been "flipped" so that the wrought iron railing is on the outside, per the request of the codes office;
2. The swing has been moved to avoid the sewer easement;
3. The maximum height of the driveway pillars is limited by code to three (3) feet. We have so noted that on the Revised Drawings.

Additionally, in response to questions raised by the Mahoods in their email dated January 2, 2020, we note that, as they acknowledged, the current planting plan has a height requirement and overall view protection which will be subject to the deed restriction and thereby enforceable through the Village. With regard to the existing hedge, no **new plantings** will be made in the right of way. The existing hedge will be subject to the same view protection through the deed restriction. These points were similarly addressed in our December 11, 2019 email.



Chairman Bruce Kenan and Members
of the Village of Skaneateles Planning Board
January 6, 2020
Page 2

As always, please do not hesitate to contact me or Holly Austin with any questions or concerns.

Very truly yours,

HANCOCK ESTABROOK, LLP

A handwritten signature in cursive script that reads 'Doreen A. Simmons'.

Doreen A. Simmons

DAS/ks

Enclosures

cc: Riccardo T. Galbato, Esq.
Gerald Carroll, Village of Skaneateles ZBA
John Crompton, Codes Enforcement Officer
Adam Weitsman
Holly K. Austin, Esq.
John R. Langey, Esq.

VILLAGE OF SKANEATELES
26 Fennell St
Skaneateles, NY 13152

315-685-2118
Email: codes@villageofskaneateles.com

Building/Zoning Application

Date Received 10/5/19 Tax Map Number _____

Applicant's Name ADAM WEISSMAN

Address of Worksite 45/61 W. LAKE ST.

Permit Fee Date Received _____

Additional Info. Requested _____

Date Review Completed 11/25/19 Signature [Signature]

Application Status: _____ Approved _____ Denied

Reasons for Denial – Does not comply with the following:

Section 225-A5, Density Control Schedule for:

- Front Yard Setback FRONT PILLARS < 30' _____ Side Yard Setback, left
- Rear Yard Setback TRELLIS < 35' _____ Side Yard Setback, Right SOUTHERN PILLAR < 25'
- Percentage of Open Area < 90% _____ Both Side Yards Combined
- _____ Percentage of Structure width/lot width 10.3% VAR NEEDED

Other Density Control Schedule _____

- _____ Section 225-69D, Non-conforming Buildings, Structures and Uses, Extension or Expansion
- _____ Section 225-14(d), Swimming Pools, 25 ft. distance to lot lines
- _____ Section 225-14C (5) (a/b), Accessory Buildings, distance to lot lines or structures
- _____ Section 225-A1-3, Permitted Use Chart

Other Sections of the Zoning Law

And/or Needs:

- _____ Certificate of Approval from the Historical Landmarks Preservation Commission, Section 225-25
- Critical Impact Permit, per Section 225-52, form PB Board of Trustees 225-19.1 (d)(4) CITY, DEC, DOH.
- _____ Special Use Permit from the Zoning Board of Appeals 225-20 D TRELLIS WITHIN 50' OF LAKE LINE
- 225-52 C.1. (A, B, F, L).
- 225-58.B (8)(a) PARKING ENCRoACHING ON FRONT YARD (P. EN.C.)
- 225-58.B (8)(b) NO PARKING IN FRONT OF STRUCTURE (P. EN.C.)

11/25/19.
DENNIS,
THIS NEW REVIEW WILL REPLACE THE OLD ONE. YOU HAVE NEW PLANS AND LANDSCAPE PLANS. BOTH WILL TYPE UP AN REFERENCE SHEET LISTING ALL THE VARIANCES AND GET THAT OUT TO PB MEMBERS. OTHER HAND PAGE 1 OF THE VAR. App. THAT MIRRORS THE REVIEW SHEET WE SHOULD BE AOK
JC

Permit Number _____	Date Issue _____
Planning Board Review _____	Zoning Board of Appeals Approval _____
Critical Impact Permit Approval _____	Historical Commission Approval <u>P/A</u> # _____

45/61 W Lake St as of 11/26/2019- Reference sheet

225- A5 Density Control Schedule

Minimum Open Space is 90% in A1 - *Per Meyer and Meyer proposed open space is 79.7% - 10.3% Variance needed. Path from garage/house/swing to new pool house is not included in lot coverage. - See L1.00, L2.00, L3.00, L3.10 Is the pathway constructed of pavers or something else?*

225- A5 Density Control Schedule

Front yard setback - *Both Pillars next to the driveway are less than 30ft to the front lot line*

225- A5 Density Control Schedule

Right side Yard Setback - *Southern Pillar next to the driveway is less than 25ft to the side lot line*

225- A5 Density Control Schedule

Rear Yard Setback - *Trellis is less than the 35 ft to the rear lot line*

225-10 B. (3) Floodway Fringe Overzone - Any permitted use relating to premises located within the Floodway Fringe FF-O Overzone shall not be deemed to be a permitted use unless a floodway permit for said use is approved by the Zoning Board of Appeals as provided in and subject to the conditions contained in Article VI of this chapter *Escrow*

~~225-14 C. (2) (c) No more than 25% of Front Yards paved or used for driveways.~~

Existing = 32.1%

Proposed = 30.4%

~~225-14 C. (3) Stone, brick or concrete fences or walls in excess of 3 ft of natural grade are prohibited~~

~~225-14 C. (5)(d) Accessory uses not enclosed in a building, shall be at least 25ft from the rear lot line *Per Meyer and Meyer - 37 sq ft of trellis appears to be located within 25 ft of the rear lot line*~~

~~225-15 A. (2) One dwelling unit per lot. *Basement is 10 ft tall and 2304 sq ft.*~~

225-19.1 B. Boundaries. *The entire property is located in the Skaneateles Lake Watershed Overzone*

225-19.1 C. (1) disturbance of 500 square ft within 300 ft of the lakeline

225-19.1 C. (2) Disturbance of 3,000 sq ft or more in the watershed - needs site plan approval

Meyer and Meyer permit set states - 40,000 sq ft disturbed which is .92 acres

225-19.1 D. (4.) City of Syracuse, DEC, DOH

225-19.1 E. (1) (a) Impermeable surfaces shall be graded to capture runoff and convey it to the Village storm sewer system - *Site Plan approval and Pool water can not be discharged into the storm sewer*

225-19.1 E. (1) (b) [4] Grading and removal of trees and other existing vegetation are minimized- *Site Plan approval*

225-20 C. Permit Requirements - *Site Plan approval*

225-20 D. No Structure built within 50 ft of the lake line - *Trellis, which is similar to a gazebo*

225-20 E. (2) Height. No structure, other than a boathouse or similar lakeshore accessory building located within 50 feet of the lake line, shall exceed 12 feet in height at the lowest horizontal eave line, measured from the average elevation of all finished grade elevations around the periphery of the building.

225-52 A. Critical Impact- excessive of 20,000 sq ft - *Meyer and Meyer determination 20,246 sq ft*

B. Two or more ... structures on any parcel or contiguous parcels with common ownership located within the watershed

F. Any land use development in the watershed

L. Sewer Flow excess of 400 gallons per day - *hot tub, pool, basement?*

225-58 B. (8) (a) No open or enclosed parking area shall encroach on any front yard (*currently non-conforming - but adding an additional section of a driveway, which could be parked on*)

225-58 B. (8) (b) No parking shall be permitted in front of the principal structure (*currently non-conforming- but adding an additional section of a driveway, which currently parked on*)

225-29 and 225-30 Demo Permit and Site Plan Review

Additional Items:

Proposed Stone Building that contains a Swing is located in the sanitary sewer easement

Is there a wall or a fence located on the South side of the property? *See L1.00, L2.00, L3.00, L3.10*

Need Asbestos Survey Report and Asbestos removal abatement certification, if property is demolished

Need the new Contractors Liability Insurance, Workers Compensation Insurance & Signed accurate Job Proposal – prior to receiving a building permit.

NY State Code- If retaining wall around catch basin is capable of holding 24" of water, then a fence will need to be added to the project.

Site Plan - Nothing should be built or landscaped between the Road Line and the Property Line, other than the driveway - *permit set indicates existing landscaping in that area & existing property is not in compliance*

Does the sunken garden have a retaining wall or gravel or steps or a patio around it or large pavers for steps and is it included in the lot coverage? – *grass steps with corten steel risers - What happens to this area when it rains?*

The Baluster's do not qualify as a fence in the NY State Uniform Fire Prevention and building code for pool fencing. A masonry or stone wall, cannot contain indentations or protrusions. – *Rod Iron fence will be moved to the outside of the masonry wall per Meyer and Meyer.*

Does the pool patio have a drain? What direction is it sloped to? *There will be a drain around the pool area. Where does this flow too? Is the water flowing into the drain recycled into the pool water or does it go into the sewer? Can it handle excessive rainfall?*

How does the small catch basin handle excessive rainfall? The Freeboard line to the top of the catch basin pool is not shown. Will the catch basin overflow into the lake?

A normal pool that is not an infinity pool will fill up to the top in an excessive rainstorm and may overflow, but an infinity pool is already at the top so what happens during an excessive rainstorm? Will the pool water flow into the lake?

When a normal pool is backwashed, a hose is put in the pool and the water is pumped out and allowed to drain onto the lawn. Would any water enter into the lake during backwashing?

If the entire pool is drained where will the water be drained to?

How often will the pool be drained? When the pool is filled, where will the water be coming from?

Pool will need to have an Alarm system per NY State Code.

If the pool or hot tub is heated to more than 90 degrees F it will need a vapor retardant cover with a minimum insulation value of R-12 per NY State Code.

Will the new extended driveway have a snowmelt system?



DOREEN A. SIMMONS
dsimmons@hancocklaw.com

October 23, 2019

VIA E-MAIL & FIRST-CLASS MAIL

Chairman Bruce Kenan and Members
of the Village of Skaneateles Planning Board
26 Fennell Street
Skaneateles, New York 13152

**Re: "Weitsman Pool Improvements" Application
45 and 61 West Lake Street**

Dear Chairman Kenan and Members of the Planning Board:

As you know, our firm represents Adam Weitsman with respect to the site plan application for a pool and related improvements at 61 West Lake Street, which was previously approved by resolution of the Planning Board on August 1, 2019 ("Resolution"), subject to obtaining the necessary variances from the Zoning Board of Appeals, the submission of an acceptable and appropriate landscaping plan and various restrictive covenants. As the Planning Board is aware, the Weitsmans' application has generated significant public interest from this Board as well as neighbors along West Lake Street.

In light of the foregoing, and after careful consideration of various comments and concerns, the Weitsmans have determined to revise their project plans to address concerns while still achieving their desire for a pool and related improvements for the benefit of the Weitsman family. The Weitsmans and, in particular, now the Ehrichs, believe the project revisions achieve a harmonious relationship between preserving the character of West Lake Street, lake views and achieving the goals of the Weitsmans.

A summary of the project modifications includes the following:

- Removal of the pool house feature and a reduced footprint of the pool and related improvements (reducing approvals and variances required from the Zoning Board of Appeals);
- A landscaping plan designed to create and preserve lake views to the maximum extent possible;
- Plantings designed to preserve privacy between 61 West Lake Street and 63 West Lake Street
- Eliminating the proposed dock.



Accordingly, please find enclosed the following revised project materials for your consideration:

1. Revised site plans depicting the pool and related improvements and Lot Coverage Calculations dated 11/26/18;
2. A landscaping plan demonstrating the types, size and location of plantings (designed to achieve maximum view preservation from West Lake Street and neighboring properties) dated 10/21/19;
3. Views as referenced in the Resolution;
4. Variance Summary Chart dated 10/23/19.

Based on the fact that the above described revisions only reduce the project's previously approved size and scope and has additional support, it is respectfully requested that the Planning Board place this matter on its November 2019 agenda and expeditiously approve the revised plans (along with the landscaping plan and proposed covenant) without conducting a new public hearing. We also submit that the Board may re-affirm the prior detailed SEQRA review process and negative declaration at that time.

As always, please do not hesitate to contact me with any questions or concerns. Please advise if you wish additional Project views/renderings. Thank you for your consideration.

Very truly yours,

HANCOCK ESTABROOK, LLP

A handwritten signature in cursive script that reads 'Doreen A. Simmons'.

Doreen A. Simmons

DAS/ks

Enclosures

cc: Riccardo T. Galbato, Esq. (*Via E-mail*)
Adam Weitsman
Gerald Carroll, Village of Skaneateles ZBA (*Via E-mail*)
John Crompton, Codes Enforcement Officer (*Via E-mail*)
John R. Langey, Esq. (*Via E-mail*)

**Variations Summary – as of 10/23/19
Weitsman Pool Project/ Modified**

Variations listed by Codes Office on 2/1/19	Applicant Position
Vary the strict application of Section 225-A5 Density Control Schedule for minimum open area	Agree to request variance. 79.7% open area (new calculation); Variance 10.3%
Section 225-A5 Density Control Schedule for front yard set-back	Agree to request variance. Driveway pillars less than 30' from lot line
Vary the strict application of Section 225-A5 Density Control Schedule for right side yard set-back	Agree to request variance. Southern Pillar less than 25'
Vary the strict application of Section 225-A5 Density Control Schedule for rear yard set-back	Agree to request variance. Only the trellis is within 25' of the Lake.
Section 225-14C(2)(c) & 225-58B(8)(a) and (b) for front yard driveway/parking	Agree to request variations 28.6% paved (3.6%); parking in front yard on driveway *No new additional parking in front yard
Section 225-14C(3)	Agree to request variance. Retaining wall will exceed three feet above natural grade because of the slope of the property
Section 225-14C(5)(d)	Agree to request variance for swimming pool use. <i>Query: "front yard" or within 25 feet of side or rear lot line because of column?</i>
Section 225-20 D&E(2) for development within 50 feet of Skanateles Lake	Agree to obtain variance. Only the trellis is within 50' of the Lake.
Section 225-19.1C(1,2)&D(4)&E for Lake Watershed Overzone Development	Site plan approval (received)
Vary the strict application of Section 225-10B(3) for Flood Fringe FF-O Overlay zone	Requesting floodway permit. Note now no dock or change to retaining walls.

Below Removed

Section 225-15A(2) for **multiple dwelling units**
No Pool House now/ not required

Section 225-11 B (2) -Special Use Permit for Dock pursuant to Permitted Use Chart
No Dock now/not required

Private Pool House

45 West Lake St, Skaneateles NY

CONSULTANT LISTING

OWNER
Adam & Kim Weitsman
45 West Lake Street
Skaneateles, NY

ARCHITECT
Meyer & Meyer Architects, Inc.
396 Commonwealth Avenue
Boston, MA 02215
Phone: 617-266-0555
Email: lsaracco@meyerandmeyerarchitects.com

STRUCTURAL ENGINEER
Webb Structural Services
670 Main Street
Reading, MA
Phone: 781-779-1330
Email: dan@webbss.net

LANDSCAPE ARCHITECT
Pressley Associates Inc.
Attn: Marion Pressley
219 Parker Street
Newton Centre, MA 02459
Phone: 617-969-1934 Ext. 209
Email: mpressley@pressleyinc.com

GENERAL CONTRACTOR
LeChase Construction
Attn: Adam Green
205 Indigo Creek Dr
Rochester, NY 14626

CIVIL ENGINEER
Joyce Consulting Group
Attn: Erin Joyce
100 Wyman Street
Braintree, MA 02184
Phone: 781-817-6120
Email: ejoyce@joycecg.com

POOL ENGINEER
Design Pool and Spa
Attn: Bucky Frusco
7244 Pittsford Palmyra Rd
Fairport, NY 14450
Phone: 585-223-8650

SURVEYOR
Paul James Olszewski, PLS, PLLC
Attn: Paul Olszewski
51 Fennell St.
Skaneateles, NY 13152
Phone: 315-488-5552



ZONING SUMMARY

Zone: Residence - District A-1

Zoning Requirements

	REQUIRED	PROPOSED
OPEN AREA (SF) AS A % OF LOT AREA	90	79.7
FRONT YARD	30'	0'
LEFT SIDE YARD	25'	310' - 2"
RIGHT SIDE YARD	25'	20' - 6"
REAR YARD	50'	20'
MAX WIDTH OF STRUCTURE AS A % OF LOT WIDTH	56%	10.4%
MIN. LIVABLE FLOOR AREA	1,200	N/A
MAX BUILDING HEIGHT	35'	N/A

Variances Summary - as of 10/23/19 Weitsman Pool Project/ Modified

Variances listed by Codes Office on 2/1/19	Applicant Position
Vary the strict application of Section 225-A5 Density Control Schedule for minimum open area	Agree to request variance. 79.7% open area (new calculation); Variance 10.3%
Section 225-A5 Density Control Schedule for front yard set-back	Agree to request variance. Driveway pillars less than 30' from lot line
Vary the strict application of Section 225-A5 Density Control Schedule for right side yard set-back	Agree to request variance. Southern Pillar less than 25'
Vary the strict application of Section 225-A5 Density Control Schedule for rear yard set-back	Agree to request variance. Only the trellis is within 25' of the Lake.
Section 225-14C(2)(c) & 225-58B(8)(a) and (b) for front yard driveway/parking	Agree to request variances 30.4% paved (5.4%); parking in front yard on driveway *No new additional parking in front yard
Section 225-14C(3)	Agree to request variance. Retaining wall will exceed three feet above natural grade because of the slope of the property
Section 225-14C(5)(d)	Agree to request variance
Section 225-20 D&E(2) for development within 50 feet of Skaneateles Lake	Agree to obtain variance. Only the trellis is within 50' of the Lake.
Section 225-19.1C(1,2)&D(4)&E for Lake Watershed Overzone Development	Site plan approval (received)
Vary the strict application of Section 225-10B(3) for Flood Fringe FF-O Overlay zone	Requesting floodway permit. Note now no dock or change to retaining walls

Below Removed

Section 225-15A(2) for **multiple dwelling units**
No Pool House now/ not required

Section 225-11 B (2) -Special Use Permit for Dock pursuant to Permitted Use Chart
No Dock now/not required

MEYER & MEYER, INC.
ARCHITECTURE • INTERIORS
396 COMMONWEALTH AVENUE BOSTON, MASSACHUSETTS 02215



MMXIX



Permit Set - Final Submission
January 3rd, 2020

LOCATION MAP

Skaneateles, New York



INDEX OF DRAWINGS

Sheet Number	Sheet Name	Permit Set 10/30/2019
..	Cover Sheet	■
A0.00	Drawing List	■
A0.02	81 W Lake Street Survey	■
A0.03	45 W Lake Street Survey	■
C1.00	Site Preparation & Erosion Control Plan	■
C2.00	Site Drainage & Utility Plan	■
C3.00	Site & Utility Details	■
L1.00	Rendered Site Plan	■
L2.00	Grading Plan	■
L3.00	Planting Plan	■
L3.01	Planting Diagram	■
Z1.00	Site Plan - Lot Coverage Calculations	■
Z1.01	Site Plan - Critical Impact Calculations	■
A0.10	Site Plan	■
A1.00	Basement Plan	■
A1.10	First Floor Plan	■
A2.00	East and West Elevations	■
A2.01	North and South Elevations	■
A3.00	Building Sections	■
A3.01	Building Sections	■
A4.00	Typical Wall Sections	■
A4.01	Pool Deck Wall Sections	■
A4.02	Pool Sections and Details	■
A4.03	Pier and Railing Details	■
A4.04	Trellis Details	■
A4.05	Cabana Plan and Elevations	■
A9.00	Stone Staircase	■
A9.01	Grass Staircase	■
A7.00	Perspective	■
A7.01	Perspective	■
A7.02	Perspective	■
S0.0	General Notes	
S0.2	Foundation Plan	
S1.1	Foundation Details	
S2.2	Framing Details	



Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

General Notes:
General Contractor shall make all Subcontractors and Suppliers aware of the requirements of these notes.
All work shall be performed in compliance with all applicable Local, State and National Building, Life Safety and Electrical Codes.
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General Contractor shall lay out in the field the entire work to verify dimensional relationships before commencing any work and shall adjust all conditions and locations before proceeding.
Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the removal of completed work, at General Contractor's cost, if a discrepancy which would have been discovered through reasonable means is discovered.
General Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the classifying or specifying of a product, material or means of assembly is to be pointed out to the Architect immediately.
Drawings shall not be scaled for dimensions under any circumstances and the Architect assumes no responsibility for use of measured scale.
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Drawing Title:
Drawing List

Drawn: _____ Author
Checked: _____ Checker
Project Number: 93480
Date: January 3, 2020
Drawing Number:

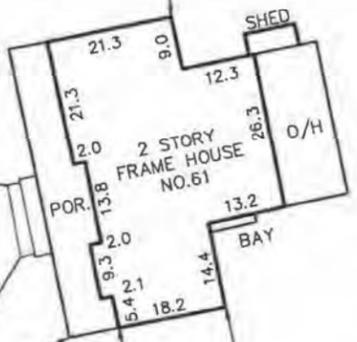
A0.00



WEST LAKE STREET
EXISTING CENTERLINE
EDGE OF PAVEMENT
ROAD LINE

N22° 47' W
106.57'

GRAVEL DRIVE



SEWER EASEMENT

REPUTED OWNER
WEITSMAN
BOOK 5008 PAGE 310

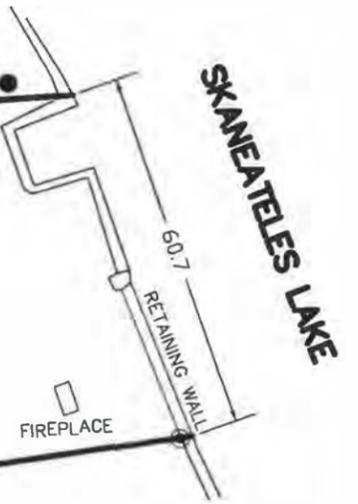
N86° 16' 10"E
365.1' MEASURED
(362.83' DEED)

REPUTED OWNER
CAMP JOLLY, LLC
BOOK 5400 PAGE 495

(159.60' DEED)
160.62' MEASURED
S81° 36' 15"W

REPUTED OWNER
63 WL HOLDINGS LLC
BOOK 5361 PAGE 916

189.05'
S77° 21' 15"W



SKANEATELES LAKE



LEGEND

CONCRETE MONUMENT FOUND	□
IRON PIPE FOUND	○
IRON ROD FOUND	●
IRON ROD SET	⊙
UTILITY POLE	⊖
OVER HEAD WIRE	— OHW —
CONTOUR LINE	— 878 —

REFERENCE

FINAL PLAN PART OF LOT 9 - BLOCK 25 VILLAGE OF SKANEATELES, COUNTY OF ONONDAGA, STATE OF NEW YORK PREPARED BY JACK COTTRELL DATED 6-17-1955. FILED IN THE ONONDAGA COUNTY CLERKS OFFICE ON 8-26-1955 AS MAP NO. 3761.

SURVEY SUBJECT TO ANY STATE OF FACTS AN ACCURATE AND UP TO DATE ABSTRACT OF TITLE WILL SHOW.

THE UNDERSIGNED SURVEYOR HEREBY CERTIFIES THAT THIS IS AN ACCURATE MAP OF AN ACTUAL SURVEY COMPLETED 01-03-2018.

Paul J. Olszewski
PAUL J. OLSZEWSKI, P.L.S. LICENSE No. 50212

*UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
COPIES FROM THE ORIGINAL OF THIS SURVEY MAP NOT MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

DATE: JANUARY 5, 2017

PART OF LOT 9
GRIFFINS 1870 MAP

PART OF BLOCK 25 VILLAGE OF SKANEATELES
COUNTY OF ONONDAGA STATE OF NEW YORK

PAUL JAMES OLSZEWSKI, P.L.S., PLLC
P.O. BOX 336
CAMILLUS NEW YORK, 13031
315-488-5552 pjosurvey.com

SCALE: 1" = 30 FEET

PROJECT No. SK10-02-44



WEST LAKE STREET

SKANEATELES LAKE

S89°34'30"E
207.6'

N47°21'17"W
412.28'

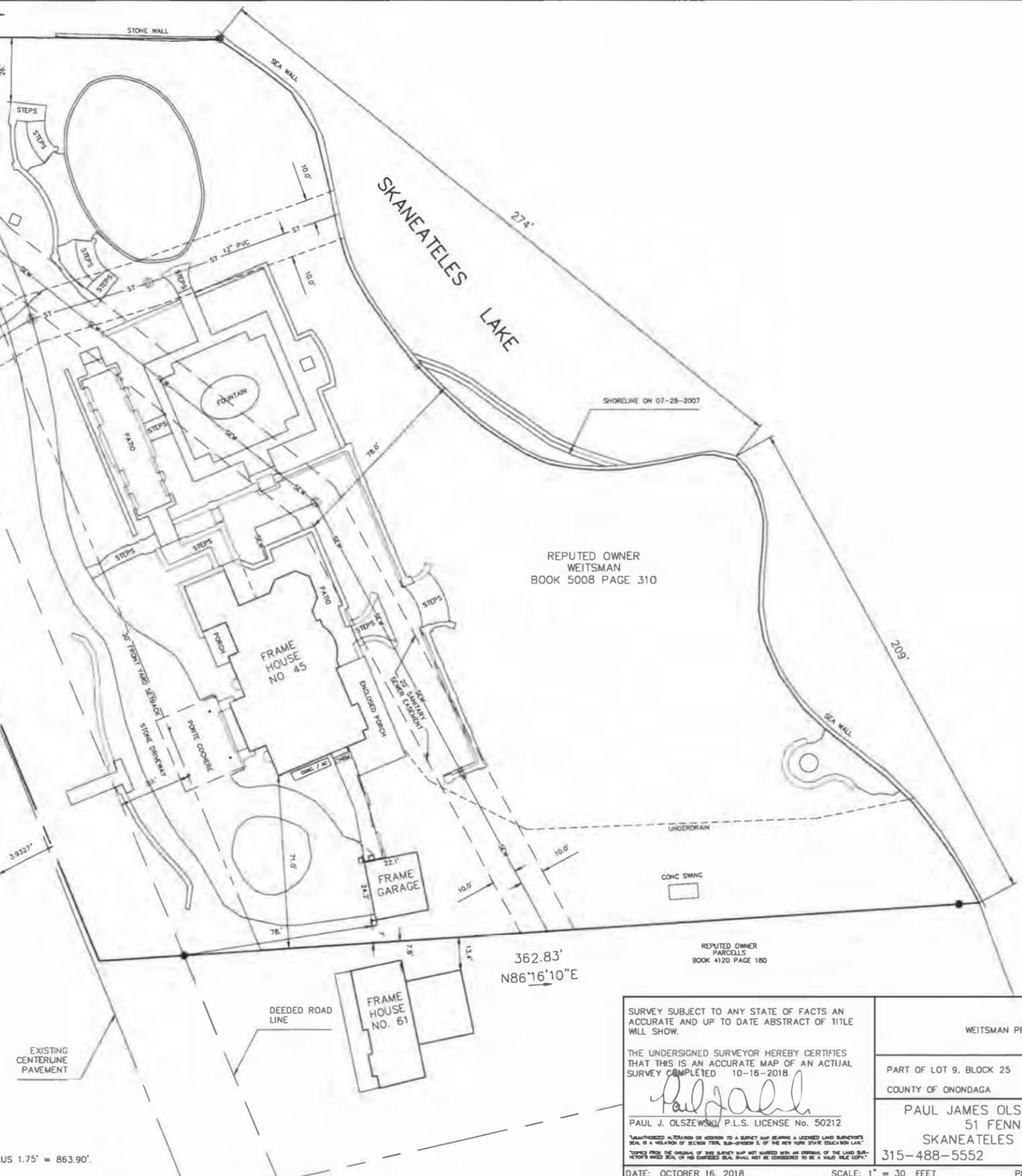
362.83'
N86°16'10"E

LEGEND

- CONCRETE MONUMENT
- IRON PIPE
- IRON ROD
- CATCH BASIN
- SANITARY MANHOLE
- UTILITY POLE
- HYDRANT
- GAS LINE
- ELECTRIC
- SANITARY SEWER
- CONTOUR LINE
- OVER HEAD WIRE
- WATER LINE
- STORM SEWER
- LIGHT POST
- UTILITY BOX

NOTES:

VERTICAL DATUM NGVD 1929 COMPUTED BY THE FOLLOWING FORMULA:
862.15' SKANEATELES LAKE ELEVATION ON 07-28-2007 (PER CITY OF SYRACUSE WATER AUTHORITY) PLUS 1.75' = 863.90'.
HIGH WATER ELEVATION = 865.02'.



REPUTED OWNER
WEITSMAN
BOOK 5008 PAGE 310

REPUTED OWNER
PARCELS
BOOK 4120 PAGE 180



SURVEY SUBJECT TO ANY STATE OF FACTS AN ACCURATE AND UP TO DATE ABSTRACT OF TITLE WILL SHOW.

THE UNDERSIGNED SURVEYOR HEREBY CERTIFIES THAT THIS IS AN ACCURATE MAP OF AN ACTUAL SURVEY COMPLETED 10-16-2018.

Paul J. Olszewski
PAUL J. OLSZEWSKI / P.L.S. LICENSE No. 50212

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COPIES FROM THE ORIGINAL OF THIS SURVEY MAP NOT MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S WREATH SEAL OF HIS CHARGED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

DATE: OCTOBER 16, 2018 SCALE: 1" = 30 FEET PROJECT No. SK10-02-45

WEITSMAN PROPERTY / EASEMENTS

PART OF LOT 9, BLOCK 25 VILLAGE OF SKANEATELES
COUNTY OF ONONDAGA STATE OF NEW YORK

PAUL JAMES OLSZEWSKI, P.L.S., PLLC
51 FENNEL STREET
SKANEATELES NEW YORK, 13152
315-488-5552 pjosurvey.com

File Location: L:\filebook\4456\filebook-New.dwg

EROSION CONTROL AND GRADING NOTES

- CONTRACTOR SHALL CLEAR THE PERIMETER OF THE CONSTRUCTION AREA AND PLACE EROSION CONTROL MEASURES PRIOR TO COMMENCING WORK. EROSION CONTROL DEVICES TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED. COUGHED STONE STABILIZATION PAD TO BE PLACED AT THE CONSTRUCTION ENTRANCE. IF BUILDING AND SITE WORK TO BE PHASES, CLEARING LIMITS SHOULD NOT EXCEED AREA NECESSARY TO CONSTRUCT EACH PHASE OF CONSTRUCTION.
- TOPSOIL SHALL BE STRIPPED FROM ALL DISTURBED AREAS AND STOCKPILED IN AREAS DESIGNATED BY THE OWNER AND THE ENGINEER. CONTRACTOR IS TO PERFORM THE EARTHWORK MAKING ALL CUTS AND FILLS AS SHOWN ON THE PLANS AND PER FIELD STAKEOUT. UPON COMPLETION OF HOUSE CONSTRUCTION, TOPSOIL SHALL BE REPLACED TO A DEPTH OF SIX (6) INCHES TO ACHIEVE FINAL GRADING ELEVATION.
- AS EARTHWORK IS IN PROGRESS EROSION CONTROL DEVICES SHALL BE INSTALLED AS SLOPES ARE DISTURBED OR CREATED. SLOPES SHALL BE STABILIZED AS SOON AS WORK ON THEM IS COMPLETED. SLOPES AT 3:1 OR GREATER SHALL BE TRACKED AND SEEDED. SLOPES SHALL BE SEED AS SOON AS POSSIBLE AFTER COMPLETION OF WORK.
- IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS BEEN TEMPORARILY OR PERMANENTLY CEASED, TEMPORARY OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE INSTALLED AND/OR IMPLEMENTED WITHIN 7 DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY CEASED.
- UPON COMPLETION OF THE EARTHWORK, THE CONTRACTOR SHALL PROCEED WITH THE INSTALLATION OF ALL UNDERGROUND UTILITIES.
- DURING CONSTRUCTION, THE CONTRACTOR WILL BE RESPONSIBLE FOR REPLACING ANY SILT FENCING, CHECK DAMS OR CATCH BASIN/YARD INLET PROTECTION WHICH BECOME CLOGGED, INOPERABLE OR DAMAGED. STRAW BALES SHALL BE INSPECTED AT MAXIMUM INTERVALS OF THREE MONTHS FOR REPLACEMENT. ALL EROSION AND SILTATION CONTROLS INCLUDING SILT FENCING, CHECK DAMS, INLET PROTECTION AND OMBLATION SINKS WILL BE INSPECTED AFTER A STORM EVENT AND REQUIRED REPAIRS WILL BE MADE IMMEDIATELY.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL CALL THE UPFO HOTLINE AT 1-800-962-7962 FOR STAKE-OUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.
- CRUSHED STONE PAD SHALL BE INSTALLED AT CONSTRUCTION ENTRANCE TO PROVIDE A STABILIZED ENTRANCE POINT. (SEE DETAIL)
- ANY SILT OR SEDIMENT ACCUMULATED IN EXISTING SWALES, STORM SEWERS, STREET AND/OR GUTTERS SHALL BE CLEANED OUT DURING CONSTRUCTION. AT A MINIMUM SILT AND SEDIMENT SHALL BE CLEANED ON A DAILY BASIS.
- DISTURBED AREAS SHALL BE STABILIZED, AND SLOPES GREATER THAN 10% SEEDED UPON COMPLETION OF GRADING AND CONSTRUCTION. SLOPES 3V:1H OR STEEPER SHALL BE STABILIZED WITH A ROLLED EROSION CONTROL MAT. DISTURBED AREAS SHALL BE SEED IMMEDIATELY UPON COMPLETION WITH TEMPORARY AND PERMANENT MIXTURES, AS APPROPRIATE. SEED ALL CUT AND FILL, TOPSOIL PILES AND PONDS WITHIN SEVEN (7) DAYS AFTER COMPLETION.

TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENED BY DISKING, RAKING OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE, IMMEDIATELY SEED WITH THE FOLLOWING MIX:

	LBS/ACRE	LBS/1,000 SQ. ACRES
SPRING/SUMMER/EARLY FALL ANNUAL RYE GRASS	30	0.7
PERENNIAL RYEGRASS	30	0.7
LATE FALL/EARLY WINTER CEREAL RYE	100	2.5

NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.

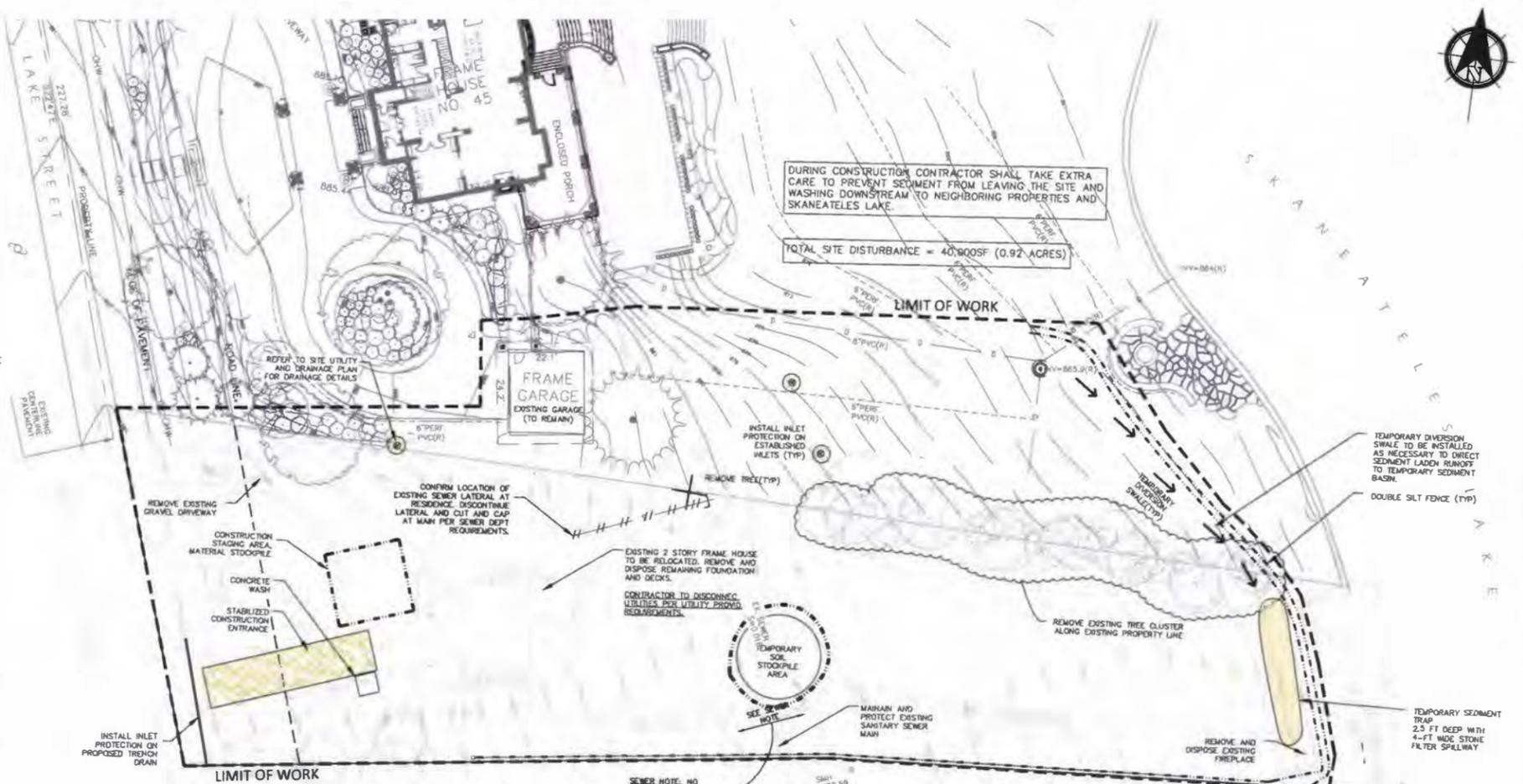
IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC REGULATIONS.

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITH MATERIALS SPECIFIED BY THE LANDSCAPE ARCHITECT. REFER TO LANDSCAPE ARCHITECTURE PLANS AND PROJECT SPECIFICATIONS FOR PERMANENT SEED AND SOO APPLICATIONS.

FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM, PERENNIAL VEGETATIVE COVER WITH DENSITY OF 80% OVER THE ENTIRE PERVIOUS SURFACE HAS BEEN ESTABLISHED.

DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR DIRECTED BY THE VILLAGE OF SKANEATELES.



EROSION CONTROL CONSTRUCTION SEQUENCE:

- INSTALL ALL PERIMETER EROSION AND SEDIMENTATION CONTROL DEVICES, STABILIZED CONSTRUCTION ENTRANCE, TREE PROTECTION DEVICES, AND MOBILIZE AND SET UP TEMPORARY STORAGE AREAS AT THE SITE.
- BEGIN GENERAL CONSTRUCTION ACTIVITIES TO RELOCATE EXISTING STRUCTURES AND TO REGRADE EXISTING DRIVEWAY AND EXTEND TO CREATE NEW DRIVEWAY. REMOVE TREES DOWN TO STUMP WHERE APPLICABLE (STUMP REMOVAL TO HAPPEN DURING SITE WORK AT LOCATION OF STUMP).
- INSTALL FOUNDATION/BASEMENT, GRADE AND STABILIZE DRIVEWAY AND INSTALL NEW DRIVEWAY DRAINAGE. INLET PROTECTION SHALL BE PROVIDED AT ALL ACTIVE STORM INLET STRUCTURES.
- CONSTRUCT NEW RETAINING WALLS AND PATIOS, BEGIN POOL HOUSE FRAMING.
- COMPLETE FINAL SANITARY AND WATER PLUMBING CONNECTIONS.
- FINALIZE LANDSCAPE, PERMANENTLY STABILIZE ALL AREAS AROUND THE POOL HOUSE LOCATION.
- REMOVE EROSION CONTROLS AND CEASE MONITORING ONLY AFTER APPROVAL HAS BEEN GRANTED BY THE VILLAGE OF SKANEATELES AND/OR THEIR PROJECT REPRESENTATIVE.

LEGEND

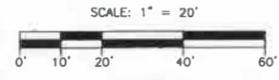
— 8" PROP WATER	--- SILT FENCE
— 8" PROP SEWER	--- 300' EXIST. CONTOUR
— 8" PROP DRAIN	--- 300' PROP. CONTOUR
— 8" PROP GUY	--- PROPERTY LINE
— 8" PROP TEL	--- CENTERLINE
— 8" PROP GAS	IP ○ LIGHT POLE
800.3 x SPOT GRADE	○ DRAIN MANHOLE
PROPOSED DRAINAGE MAT	○ CATCH BASIN
○ 24" SILENT PUMP	○ SILENT PUMP
	○ WATER VALVE
	○ HYDRANT

SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON _____ DATE _____

VILLAGE HIGHWAY & WATER SUPERINTENDENT DATE _____

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.



FULL SIZE SHEET IS 24"X36"
FOR PERMITTING ONLY

MEYER & MEYER
ARCHITECTURE AND INTERIORS

P: 617.566.2912
T: 617.264.6535
306 Commonwealth Avenue
Boston, Massachusetts 02115

Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission



General Notes:
General Contractor shall make all Subcontractors and Suppliers aware of the requirements of these notes.
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General Contractor shall lay out on the field the main work to verify dimensional relationships before commencing any work and shall verify all existing conditions and dimensions before proceeding.
Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancy in the plans, dimensions, existing conditions or any apparent error in the classification or spacing of a problem, material or means of assembly is to be pointed out to the Architect immediately.
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Registration:
Site Preparation & Erosion Control Plan

Drawn: EVJ
Checked: MGJ
Project Number: 18062
Date: January 3, 2020
Drawing Number:

C1.00

PER SECTION 2209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF A DOCUMENT BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

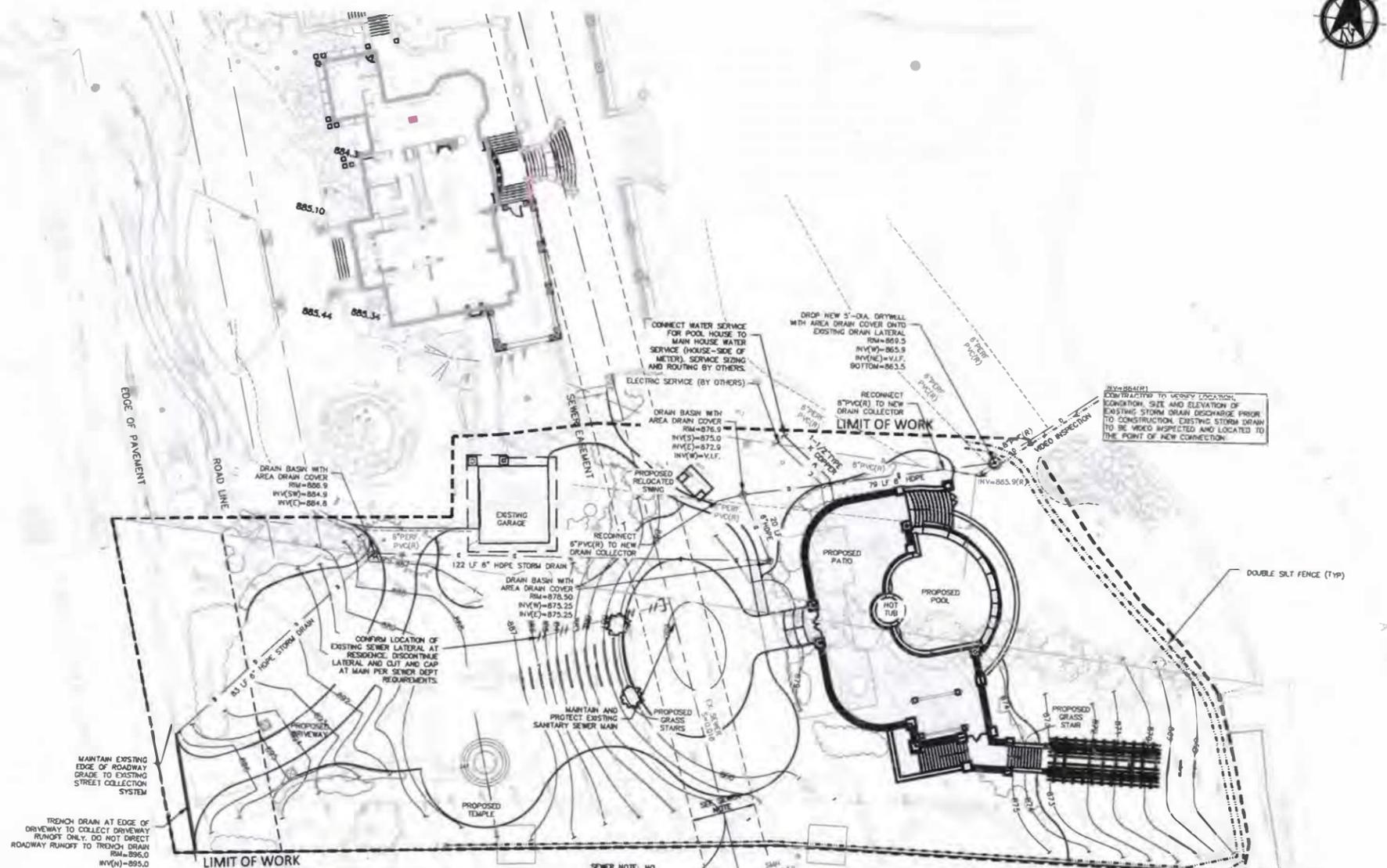
File Location: L:\Titleblocks\24x36\Titleblock-New.dwg

GENERAL NOTES

1. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND A FIELD INSTRUMENT SURVEY PROVIDED BY THE CLIENT AND PREPARED BY PAUL J. OLSZEWSKI, PLS, PCC IN FEBRUARY 2018. FIELD INSTRUMENT SURVEY WAS LIMITED TO THE 61 WEST LAKE STREET PARCEL.
2. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7882 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
3. EXISTING SITE STORM DRAIN UTILITIES ARE SHOWN BASED ON RECORD MAPPING AND ARE NOT BASED ON THE AS-BUILT CONDITION. CONTRACTOR SHALL VERIFY SIZE, CONDITION, AND DEPTH OF EXISTING STORMWATER UTILITIES PRIOR TO MAKING ANY CONNECTIONS.
4. THE SITE DOES NOT FALL WITHIN ANY FEMA SPECIAL FLOOD HAZARD ZONES PER C.P. #3608080 MAP REVISED MAY 18, 1998.
5. NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
6. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE VILLAGE OF SKANEATELES AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
8. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE VILLAGE OF SKANEATELES HIGHWAY DEPARTMENT FOR ALL WORK WITHIN THE RIGHT-OF-WAY.
9. CONTOURS DERIVED FROM NAVD88 DATUM, NGVD 29 CONVERSION TO NAVD 88 (-0.5').
10. DEPTH OF EXISTING SEWER MAIN HAS NOT BEEN RECORDED. CONTRACTOR TO VERIFY SIZE AND DEPTH OF EXISTING SANITARY SEWER MAIN CROSSING THE PARCEL PRIOR TO CONSTRUCTION. CONTRACTOR TO REPORT SIZE AND DEPTH TO ENGINEER FOR REVIEW OF PROPOSED SANITARY LATERAL CONNECTION. NOTE THAT SANITARY CONNECTION MAY REQUIRE A LIFT STATION IF DEPTH OF SANITARY SEWER MAIN IS HIGHER THAN THE INVERT OF THE LATERAL LEAVING POOL HOUSE.
11. NO POOL DRAINS SHALL BE CONNECTED TO THE VILLAGE SANITARY SEWER SYSTEM.

LEGEND

— 12" PROP WATER	— 12" DIST. CONTOUR
— 8" PROP SEWER	— 100' PROP CONTOUR
— 6" PROP DRAIN	— 200' PROP CONTOUR
— 4" PROP ELECT	— PROPERTY LINE
— 1" PROP TIS	— CONTOUR
— CAS PROP CAS	— LIGHT POLE
— 300.3x SPOT GRADE	— DRAIN MANHOLE
PROPOSED CROSSING MAT	— CATCH BASIN
— CHECK DAM	— SEWER MANHOLE
	— WATER VALVE
	— HYDRANT



SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON _____ DATE _____
 VILLAGE HIGHWAY & WATER SUPERINTENDENT DATE _____

NOTE:
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FULL SIZE SHEET IS 24"X36"
 FOR PERMITTING ONLY

MEYER & MEYER
 ARCHITECTURE AND INTERIORS

P 617.266.2952
 T 617.266.4555
 306 Courtlandt Avenue
 Ithaca, New York 14850

Project:
Private Pool House
 45 West Lake St.
 Skaneateles NY

Issue Dates and Revisions:
 Permit Set January 3, 2020
 Final Submission



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 General Contractor shall be responsible for securing all permits as necessary for the completion of work shown hereon under the Contract Documents.
 General Contractor shall lay out in the field the entire work to verify dimensional relationships before commencing any work and shall conduct all existing conditions and locations before proceeding.
 Failure to verify dimensions and conditions before proceeding may result in the General Contractor to the required removal of completed work at General Contractor's cost, if a discrepancy which could have been discovered through careful observation to the plans.
 General Contractor shall coordinate the dimensional requirements between the work of the various trades.
 Any discrepancies found in the plans, dimensions, existing conditions or any approval error in the classifying or specifying of a product, material or means of assembly to be permitted to the Architect's satisfaction.
 Drawings shall not be scaled for dimensions and/or sizes. Check and Annotate notes on responsibility for use of numerous scales.
 Regardless of whether or not an item is shown or specified, General Contractor shall provide and bear the cost of any necessary for the proper installation or function of an item shown or specified. Suppliers and Subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.
 All dimensions to interior/exterior walls indicated are to face of stud wall or concrete, as is unless noted otherwise.
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Registration:
Site Drainage & Utility Plan

Drawn: EVJ
 Checked: MGJ
 Project Number: 18062
 Date: January 3, 2020
 Drawing Number:

C2.00

PER SECTION 2209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF A DOCUMENT BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL, AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Project:
Private Pool House
45 West Lake St.
Skanateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission



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General Contractor shall lay out in the field the entire work to verify dimensional relationships before commencing dry part, and shall verify all critical conditions and locations before proceeding.

Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the required removal of completed work if General Contractor cannot demonstrate that the work has been demonstrated to be in accordance with the plans.
General Contractor shall coordinate the dimensional requirements with the work of the various trades.
Any discrepancies found in the plans, dimensions, existing conditions or any approval error in the clarifying or specifying of a product, material or means of assembly to be provided to the Architect immediately.
Overlays shall not be scaled for dimensions and/or sizes. Owner and Architect assume no responsibility for use of abstract scale.
Regardless of whether or not an item is shown or specified, General Contractor shall provide and form of it is necessary for the proper installation or function of its use shown or specified. Suppliers and Subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated prior to building.
A. Allowances to interior/exterior walls indicated are to face of slab wall or concrete/c.m. unless noted otherwise.
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Drawing Title:
Site & Utility Details

Drawn: **EVJ**

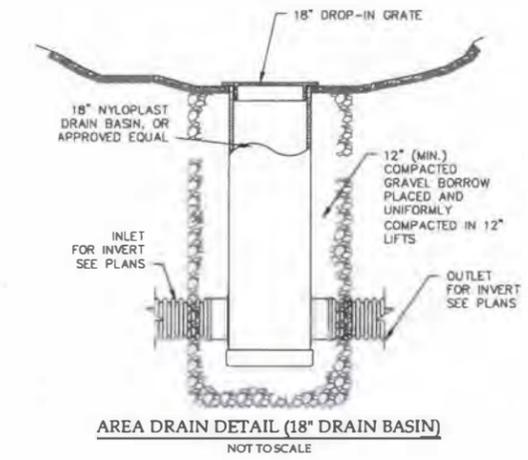
Checked: **MGJ**

Project Number: **18062**

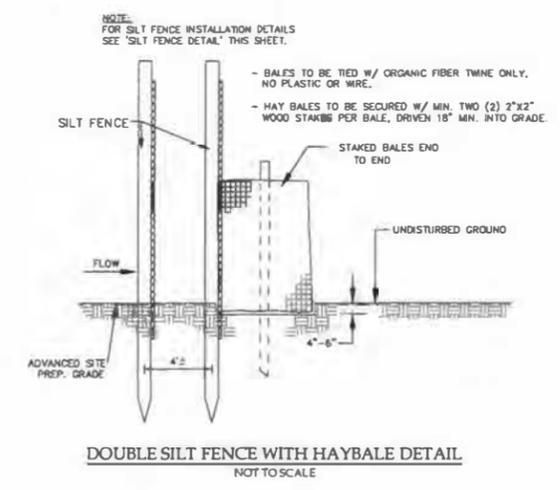
Date: **January 3, 2020**

Drawing Number:

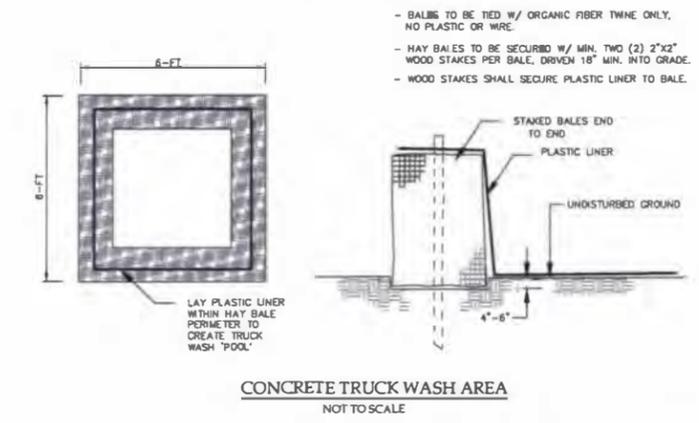
C3.00



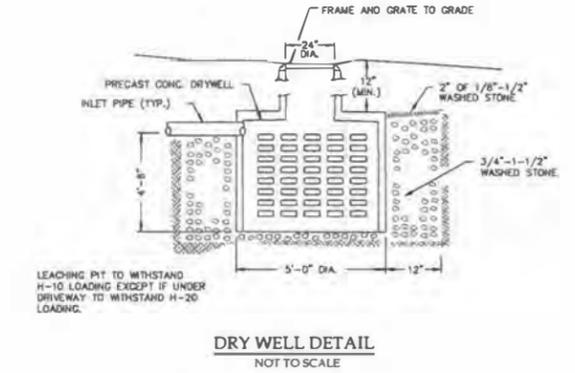
AREA DRAIN DETAIL (18" DRAIN BASIN)
NOT TO SCALE



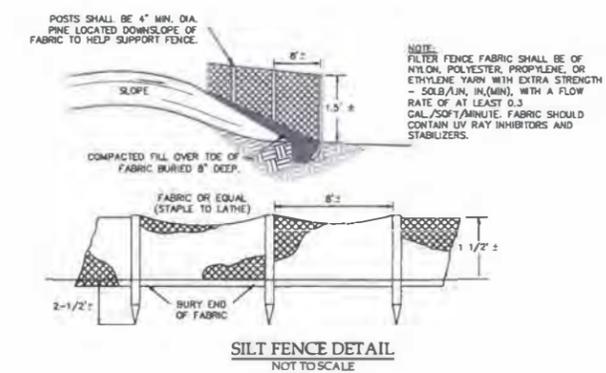
DOUBLE SILT FENCE WITH HAYBALE DETAIL
NOT TO SCALE



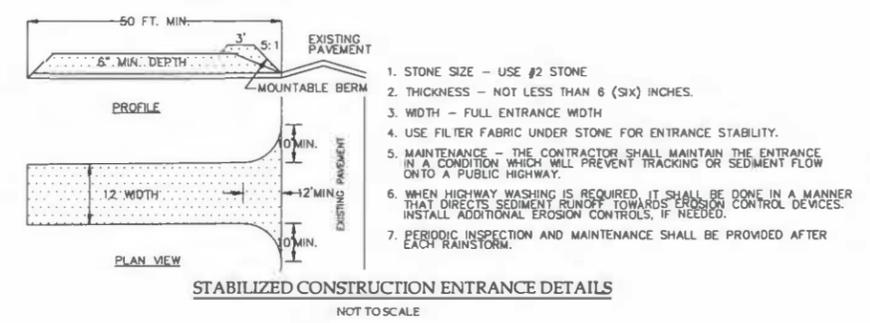
CONCRETE TRUCK WASH AREA
NOT TO SCALE



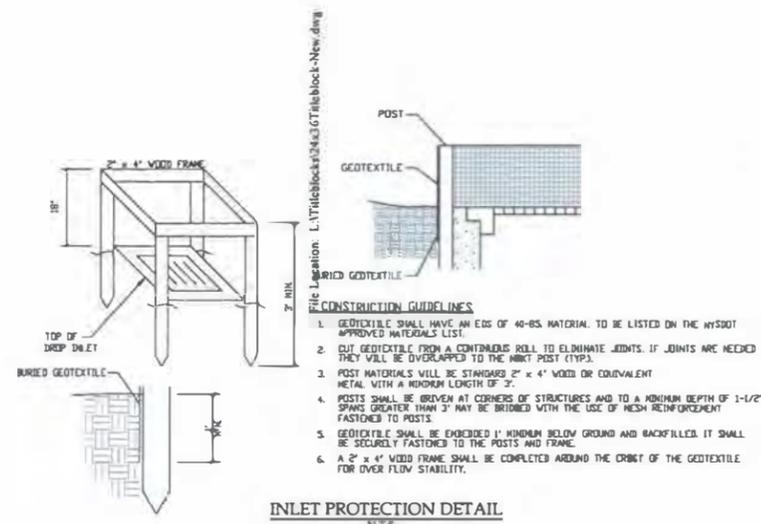
DRY WELL DETAIL
NOT TO SCALE



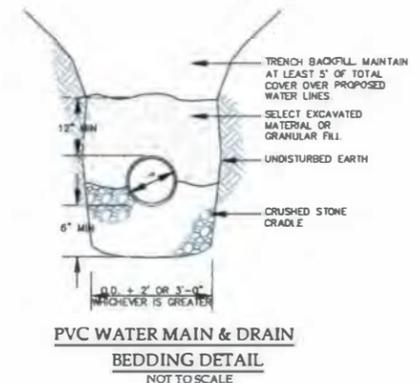
SILT FENCE DETAIL
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE DETAILS
NOT TO SCALE



INLET PROTECTION DETAIL
N.T.S.

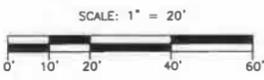


PVC WATER MAIN & DRAIN BEDDING DETAIL
NOT TO SCALE

SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON _____ DATE _____
VILLAGE HIGHWAY & WATER SUPERINTENDENT DATE _____

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.



FULL SIZE SHEET IS 24"X36"
FOR PERMITTING ONLY

PER SECTION 2209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IF A DOCUMENT BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

J:\17037.00 Writman Residence Expansion\003_CD\Xref\Writman Pool House Landscape Permit Set.dwg

Landscape Master Plan



Note: Existing vegetation will be maintained to preserve views of the Lake.

MEYER & MEYER
ARCHITECTURE AND INTERIORS

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P. MEYER & MEYER
219 PARKER STREET
NEWTON CENTRE, MASSACHUSETTS 02459

P Presley Associates
Landscape Architects
219 Parker Street
Newton Centre, MA 02459
Tel: 617-969-1934
Fax: 617-969-1066

**Private Residence
Pool Deck**
61 W Lake Street, Skaneateles, New York

Issue Dates and Revisions:
01/03/2020 Permit Set
Final Submission



Drawing Title:

Site Plan

Drawn: FP

Checked: MP

Project Number: 17037.00

Date: 01/03/2020

Drawing Number:

L1.00

Private Residence Pool Deck

61 W Lake Street, Skaneateles, New York

Issue Dates and Revisions:
01/03/2020 Permit Set
Final Submission

Registration:



Drawing Title:

Grading Plan

Drawn: FP

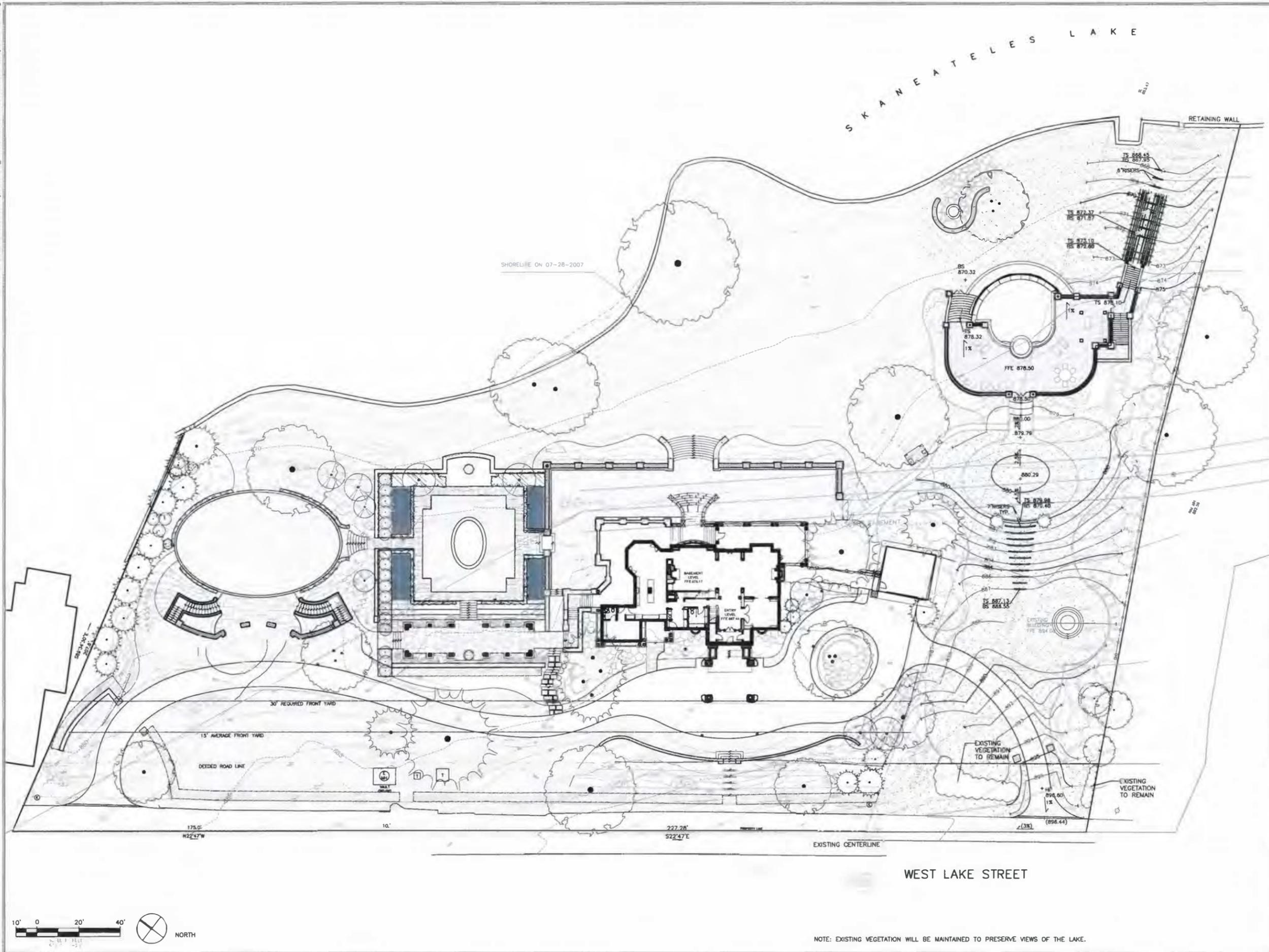
Checked: MP

Project Number: 17037.00

Date: 01/03/2020

Drawing Number:

L2.00



NOTE: EXISTING VEGETATION WILL BE MAINTAINED TO PRESERVE VIEWS OF THE LAKE.

Private Residence
Pool Deck
61 W Lake Street, Skaneateles, New York

Issue Dates and Revisions:
01/03/2020 Permit Set
Final Submission



Drawing Title:

Planting Plan

Drawn: FP

Checked: MP

Project Number: 17037.00

Date: 01/03/2020

Drawing Number:

L3.00

PLANT SCHEDULE

Trees

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
CC	<i>Cercis canadensis</i>	Redbud	8'-10' ht.	B&B
CL	<i>Cladostic kentukea</i>	Yellowwood	4 1/2"-5" Cal.	B&B
PS	<i>Pinus strobus</i>	White Pine	8'-10' ht.	B&B
TC	<i>Tsuga canadensis</i>	Canadian Hemlock	8'-10' ht.	B&B
TO	<i>Thuja occidentalis 'Nigra'</i>	Arborvitae	8'-10' ht.	B&B

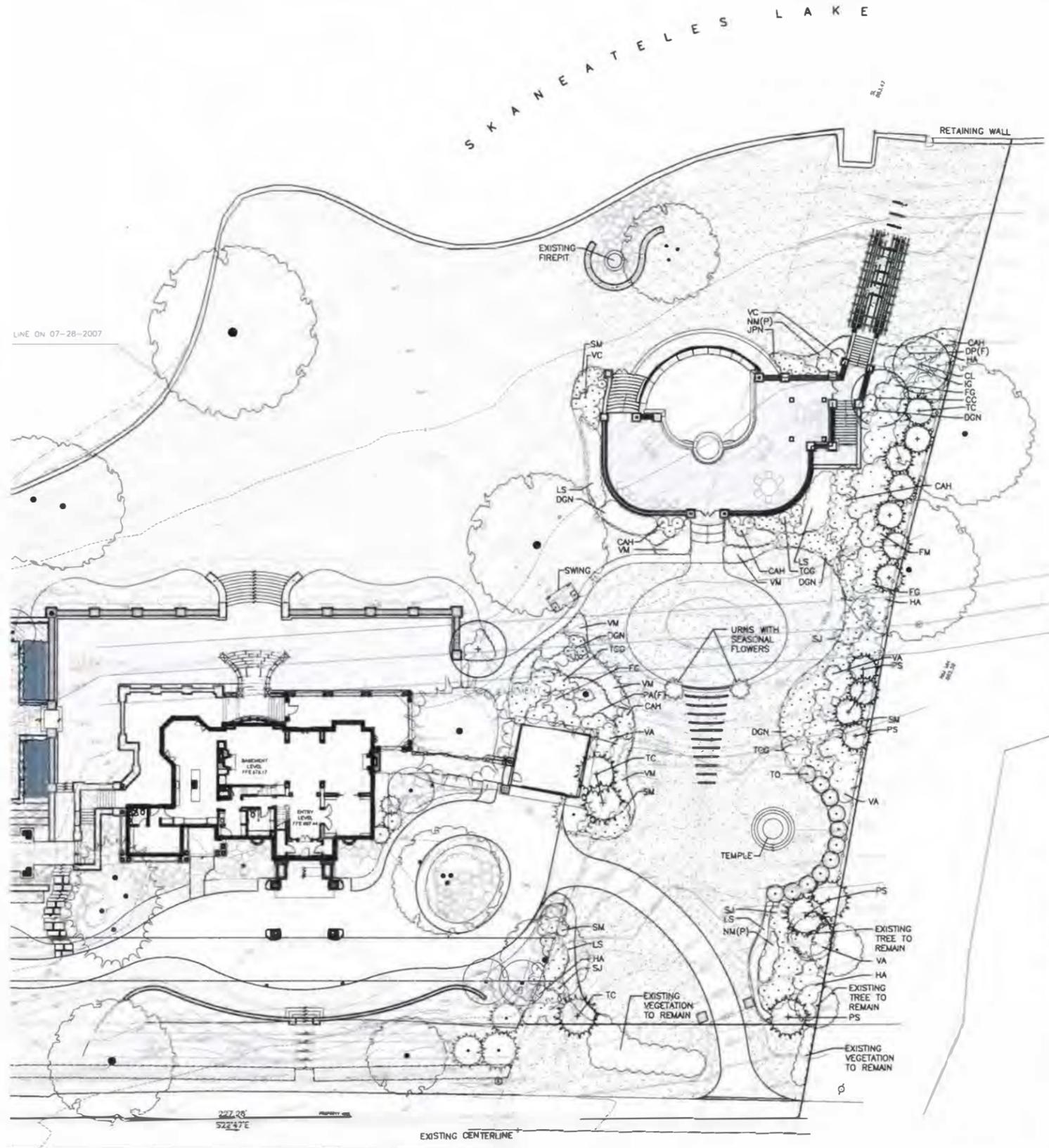
Shrubs

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
CAH	<i>Clethra alnifolia 'Hummingbird'</i>	Dwarf Summersweet	2 1/2'-3' sp.	CG
DGN	<i>Deutzia gracilis 'Nikka'</i>	Dwarf Slender Deutzia	18"-24" sp.	CG
FG	<i>Fothergilla gardenii</i>	Dwarf Fothergilla	3-3 1/2' sp.	CG
FM	<i>Fothergilla major</i>	Witch-alder	3 1/2'-4' sp.	CG
IG	<i>Ilex glabra 'Shamrock'</i>	Compact Shamrock Inkberry	3'-3 1/2' ht.	CG
JPN	<i>Juniperus procumbens 'Nano'</i>	Japanese Garden Juniper	2'-2 1/2' sp.	CG
HA	<i>Hydrangea arborescens 'Annabelle'</i>	Annabelle Hydrangea	5 gal.	CG
SJ	<i>Spiraea japonica 'Shirabano'</i>	Japanese Meadowsweet	2'-2 1/2' ht.	CG
SM	<i>Syringa meyeri</i>	Meyer Lilac	2'-2 1/2' ht.	CG
TCG	<i>Taxus cuspidata 'Green Wave'</i>	Dwarf Spreading Yew	2 1/2'-3' sp.	CG
VA	<i>Viburnum rhytidophyloides 'Allegheny'</i>	Allegheny Viburnum	4'-4 1/2' ht.	CG
VC	<i>Viburnum carlesii</i>	Koreanspice Viburnum	3'-3 1/2' ht.	CG

Perennials/ Ferns/ Groundcovers

SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
DP(F)	<i>Dennstadio punctiloba</i>	Hayscented Fern	1 gal.	CG
LS	<i>Liriope spicata</i>	Lilyturf	1 gal.	CG
NM(P)	<i>Nepeta mussinii</i>	Catnip	1 gal.	CG
PA(F)	<i>Polystichum acrostichoides</i>	Christmas Fern	1 gal.	CG
VM	<i>Vinca minor</i>	Vinca	1 gal.	CG

LINE ON 07-28-2007



WEST LAKE STREET

NOTE: EXISTING VEGETATION WILL BE MAINTAINED TO PRESERVE VIEWS OF THE LAKE.



Private Residence
Pool Deck

61 W Lake Street, Skaneateles, New York

Issue Dates and Revisions:
01/03/2020 Permit Set
Final Submission

Registration:



Drawing Title:

Planting
Diagram

Drawn: FP

Checked: MP

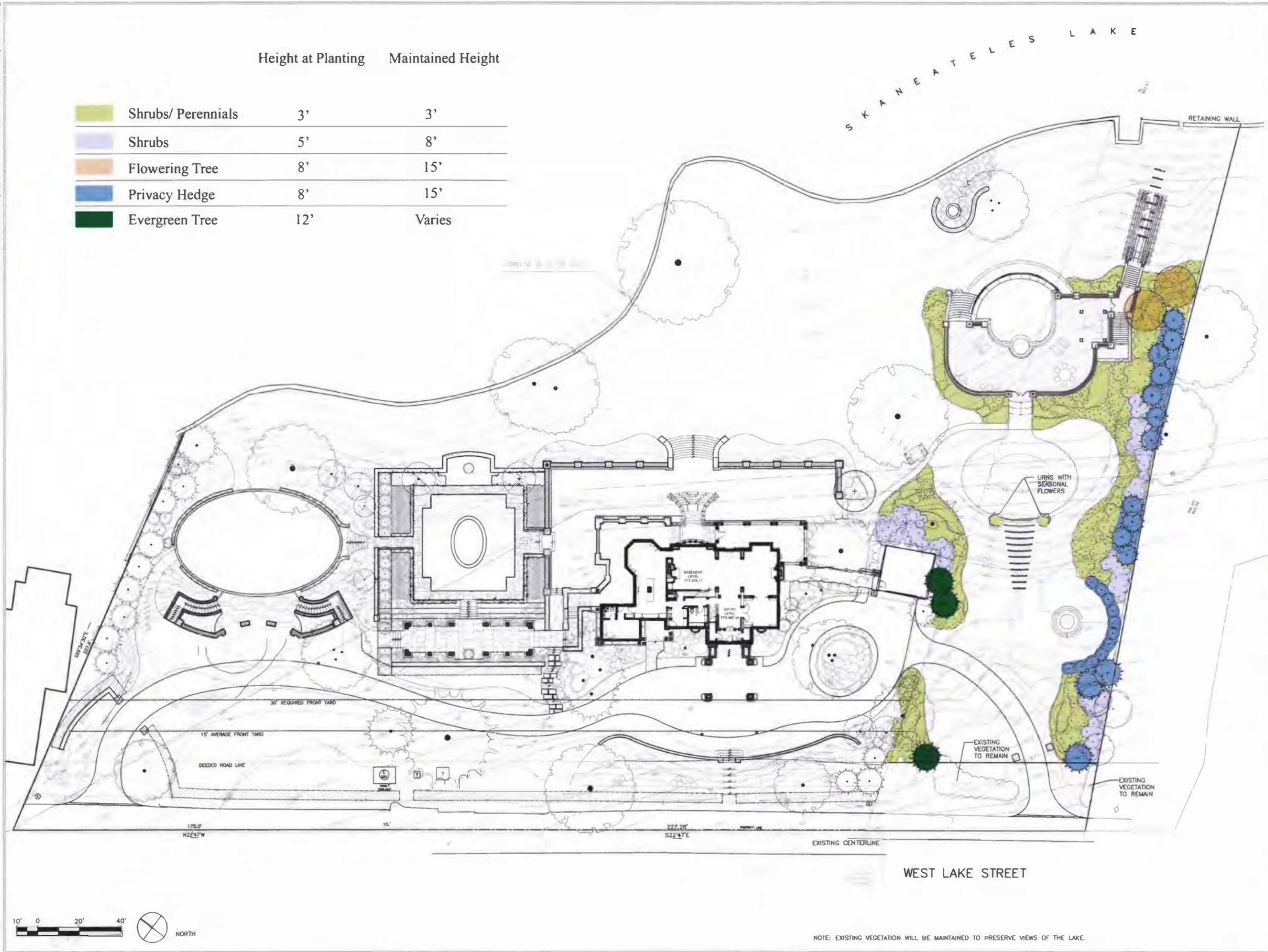
Project Number: 17037.00

Date: 01/03/2020

Drawing Number:

L3.10

	Height at Planting	Maintained Height
 Shrubs/ Perennials	3'	3'
 Shrubs	5'	8'
 Flowering Tree	8'	15'
 Privacy Hedge	8'	15'
 Evergreen Tree	12'	Varies



NOTE: EXISTING VEGETATION WILL BE MAINTAINED TO PRESERVE VIEWS OF THE LAKE.

Lot Coverage/ Open Space 225: A5

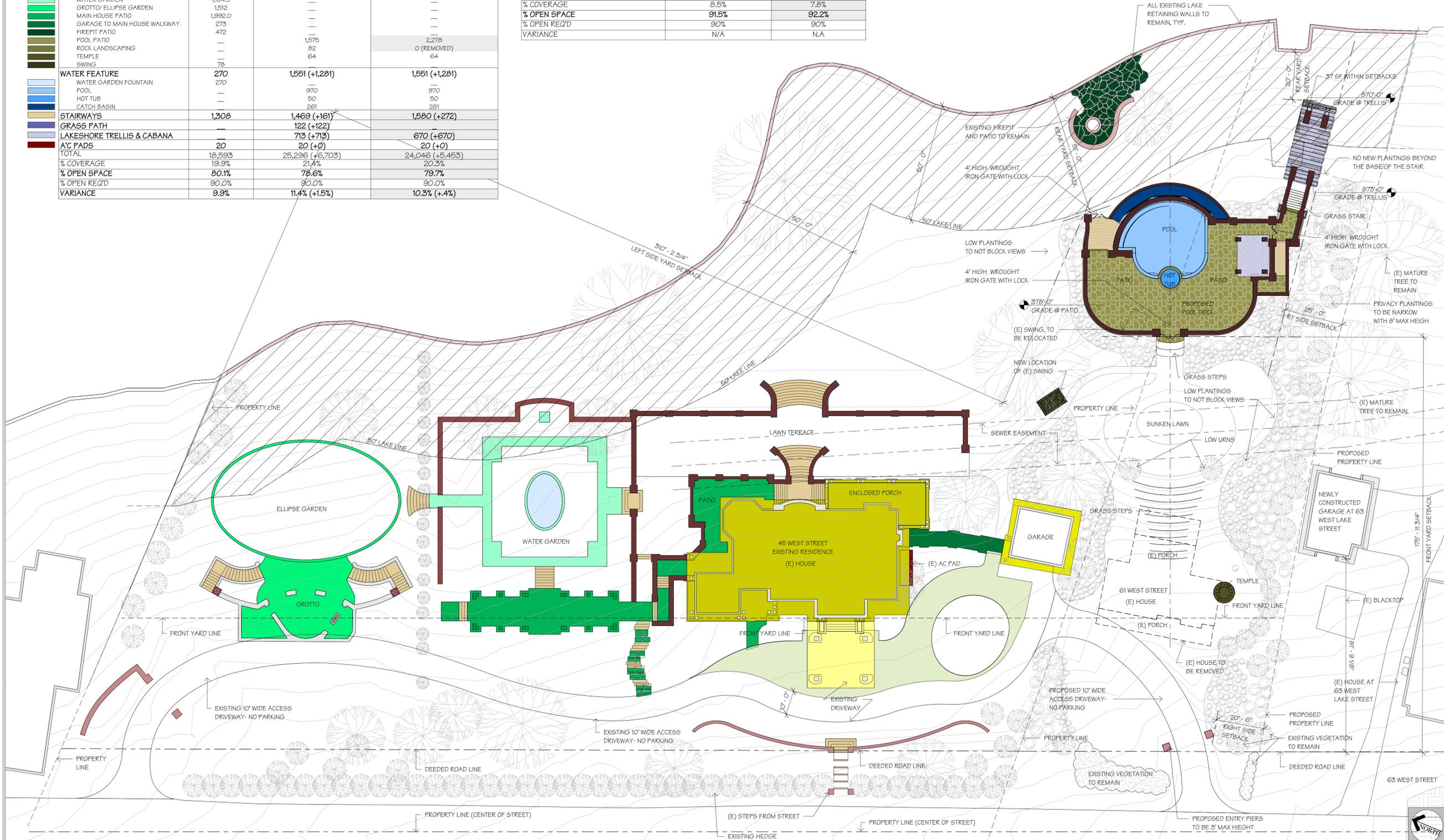
	EXISTING (SF)	PREVIOUSLY PROPOSED OPTION WITH POOL HOUSE (SF)	CURRENT PROPOSAL WITHOUT POOL HOUSE (SF)
LOT AREA TO STREET LINE	93,544.5	118,222 (+24,677.5)	118,222 (+24,677.5)
BUILDINGS	6,627	8,444 (+1,817)	6,627 (+0)
MAIN HOUSE	4,990	—	—
GARAGE	829	—	—
PORTE COCHERE	808	—	—
POOL HOUSE (REMOVED FROM SCOPE)	—	1,817	0 (REMOVED)
SITE WALLS	2,638.5	3,417.5 (+779)	3,526.5 (+888)
LAKESHORE RETAINING WALL	696.5	111	111
FIREPIT RETAINING WALL	120	—	—
FRONT YARD WALLS	282	18	18
GROTTO WALLS	414	—	—
WATER GARDEN WALLS	318	—	—
LAWN TERRACE & PATIO WALLS	808	—	—
POOL/ POOL HOUSE WALLS	—	650	759
PATIO/ PAVED AREAS	7,729.5	9,539.5 (+1,810)	10,071.5 (+2,342)
DRIVEWAY (NON ACCESS USE)	2,218	—	0 (REMOVED)
DOCK RAMP	—	89	—
WATER GARDEN	1,184.5	—	—
GROTTO/ ELLIPSE GARDEN	1,512	—	—
MAIN HOUSE PATIO	1,992.0	—	—
GARAGE TO MAIN HOUSE WALKWAY	273	—	—
FIREPIT PATIO	472	—	—
POOL PATIO	—	1,575	2,278
ROCK LANDSCAPING	—	82	0 (REMOVED)
TEMPLE	—	—	64
SWING	78	—	—
WATER FEATURE	270	1,551 (+1,281)	1,551 (+1,281)
WATER GARDEN FOUNTAIN	270	—	—
POOL	—	970	970
HOT TUB	—	50	50
CATCH BASIN	—	261	261
STAIRWAYS	1,308	1,469 (+161)	1,580 (+272)
GRASS PATH	—	122 (+122)	—
LAKESHORE TRELIS & CABANA	—	713 (+713)	670 (+670)
AC PADS	20	20 (+0)	20 (+0)
TOTAL	18,593	25,296 (+6,703)	24,046 (+5,453)
% COVERAGE	19.9%	21.4%	20.3%
% OPEN SPACE	80.1%	78.6%	79.7%
% OPEN REQ'D	90.0%	90.0%	90.0%
VARIANCE	9.9%	11.4% (+1.5%)	10.3% (+.4%)

Lakeshore Lot Coverage/ Open Space 225: 20

	PREVIOUSLY PROPOSED OPTION WITH POOL HOUSE (SF)	CURRENT PROPOSAL WITHOUT POOL HOUSE (SF)
LOT AREA FROM LAKESHORE TO 50'	29,149	29,149
SITE WALLS	1,224	1,224
LAKESHORE RETAINING WALL	808	808
FIREPIT RETAINING WALL	120	120
WATER GARDEN WALLS	221	221
LAWN TERRACE & PATIO WALLS	46	46
POOL/ POOL HOUSE WALLS	29	29
PATIO/ PAVED AREAS	776	776
WATER GARDEN	246	246
GROTTO/ ELLIPSE GARDEN	58	58
FIREPIT PATIO	472	472
DOCK	89	0 (REMOVED)
GRASS PATH	122	0 (REMOVED)
LAKESHORE TRELIS	280	280
TOTAL	2,491	2,280
% COVERAGE	8.5%	7.8%
% OPEN SPACE	91.5%	92.2%
% OPEN REQ'D	90%	90%
VARIANCE	N/A	N/A

Zoning Requirements

	REQUIRED	PROPOSED
OPEN AREA (SF) AS A % OF LOT AREA	90	79.7
FRONT YARD	30'	0'
LEFT SIDE YARD	25'	310' - 2"
RIGHT SIDE YARD	25'	20' - 6"
REAR YARD	50'	20'
MAX WIDTH OF STRUCTURE AS A % OF LOT WIDTH	55%	10.4%
MIN. LIVABLE FLOOR AREA	1,200	N/A
MAX BUILDING HEIGHT	35'	N/A



MEYER & MEYER
ARCHITECTURE AND INTERIORS

F: 617.266.2952
T: 617.266.0555
390 Commonwealth Avenue
Boston, Massachusetts 02215

Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set Final Submission January 3, 2020

General Notes:
General Contractor shall make all Subcontractors and Suppliers aware of the requirements of these notes.
All work shall be performed in compliance with all applicable Local, State and National Building, Life Safety and Electrical Codes.
General Contractor shall be responsible for securing all permits as necessary for the completion of work shown throughout the Contract Documents.
General Contractor shall lay out in the field the entire work to verify dimensional relationships before proceeding any part, and shall verify all existing conditions and locations before proceeding.
Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the required removal of completed work at General Contractor cost, if a discrepancy which could have been discovered causes modifications to the plans.
General Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the classifying or specifying of a product, material or means of assembly is to be pointed out to the Architect immediately.
Drawings shall not be scaled for dimensions and/or sizes. Owner and Architect assume no responsibility for use of incorrect scale.
Regardless of whether or not an item is shown or specified, General Contractor shall provide said item if it is necessary for the proper installation or function of an item shown or specified. Suppliers and Subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.
All dimensions to interior/exterior walls indicated are to face of stud wall or concrete/c.m.u. unless noted otherwise.
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Registration:

Drawing Title:
Site Plan - Lot Coverage Calculations

Drawn: L.S.
Checked: J.M.
Project Number: 93480
Date: January 3, 2020
Drawing Number:

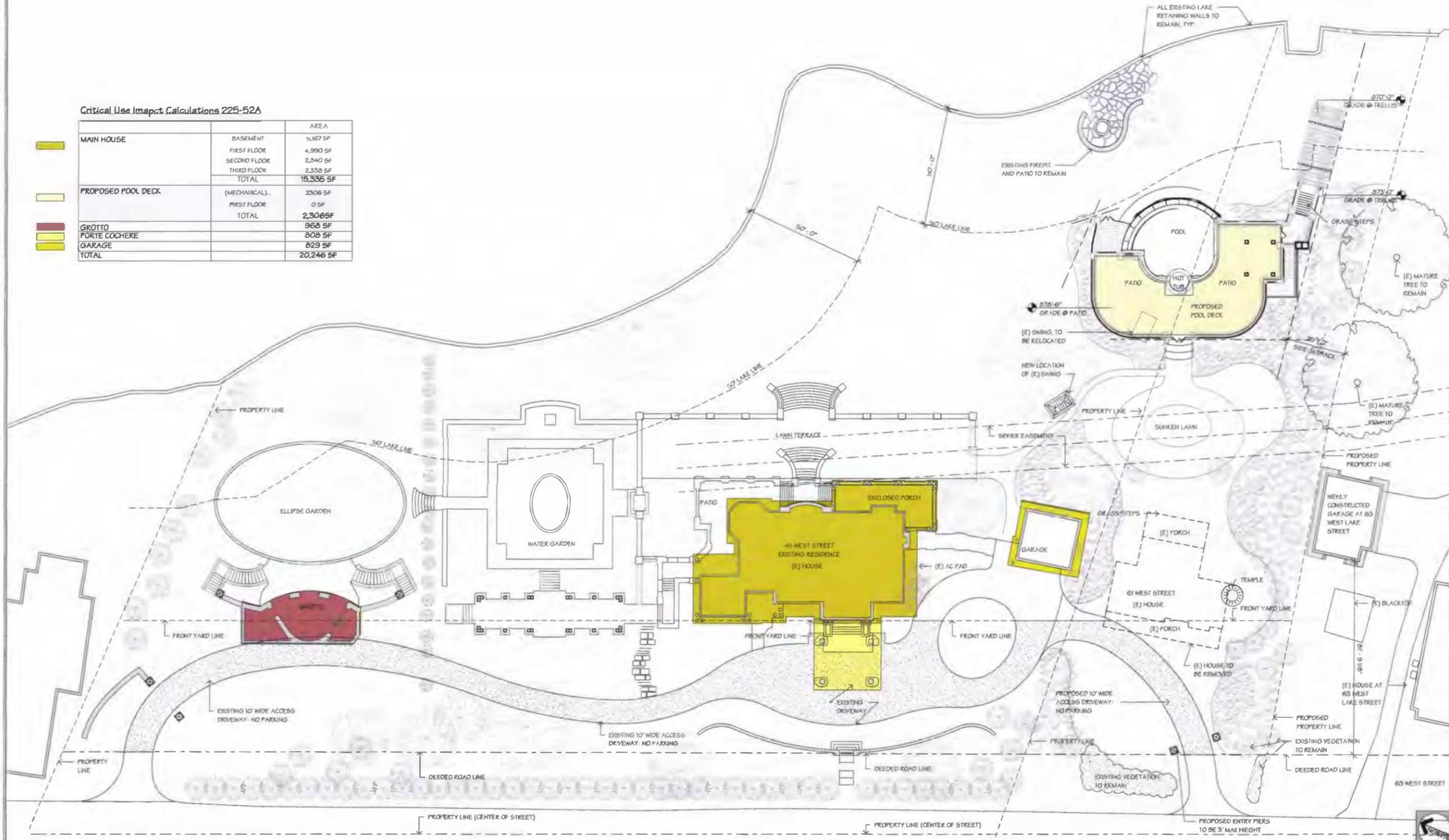
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Front Yard Coverage Calculation

	EXISTING (SF)	PROPOSED (SF)
FRONT YARD AREA	22,701	28,263
DRIVEWAY	6,732	7,534 (+802)
PATIO/PAVED AREAS	567	567
TOTAL	7,299	8,101 (+802)
% COVERAGE	32.1%	28.6%
% OPEN SPACE	67.9%	71.4%
% OPEN REQ'D	75.0%	75.0%
VARIANCE	7.1%	3.6%

Critical Use Impact Calculations 225-52A

	AREA	AREA
MAIN HOUSE	BASEMENT	5,167 SF
	FIRST FLOOR	4,990 SF
	SECOND FLOOR	2,340 SF
	THIRD FLOOR	2,339 SF
	TOTAL	15,336 SF
PROPOSED POOL DECK	(MECHANICAL)	2306 SF
	FIRST FLOOR	0 SF
	TOTAL	2,306 SF
GROTTO		968 SF
PORTE COCHERE		808 SF
GARAGE		829 SF
TOTAL		20,246 SF



Project:
Private Pool House
 45 West Lake St,
 Skaneateles NY

Issue Dates and Revisions:

General Notes:
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 General Contractor shall be responsible for securing all permits as necessary for the completion of work above throughout the Contract Documents.
 General Contractor shall lay out in the field the entire work to verify dimensional relationships before commencing any work, and shall verify all existing conditions and dimensions before proceeding.
 Fabricators to verify dimensions and conditions before proceeding may request the General Contractor to the required removal of completed work at General Contractor's risk. All dimensions shall be based on the most recent change conditions to the plans.
 General Contractor shall coordinate the dimensional requirements between the work of the various trades.
 Any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the drawing or specifying of a product, material or amount of quantity is to be pointed out to the Architect immediately.
 Drawings shall not be scaled for dimensions and/or area. Owner and Architect assume no responsibility for use of drawings at scale.
 Regardless of whether or not an item is shown or specified, General Contractor shall provide said item if it is necessary for the proper installation or function of an item shown in the plans. Suppliers and Subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.
 All dimensions to exterior/interior walls indicated are to face of steel wall or concrete, unless noted otherwise.
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Site Plan - Critical Impact Calculations

Drawn: _____ Author
 Checked: _____ Checker
 Project Number: 93480
 Date: January 3, 2020
 Drawing Number:

Z1.01

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Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

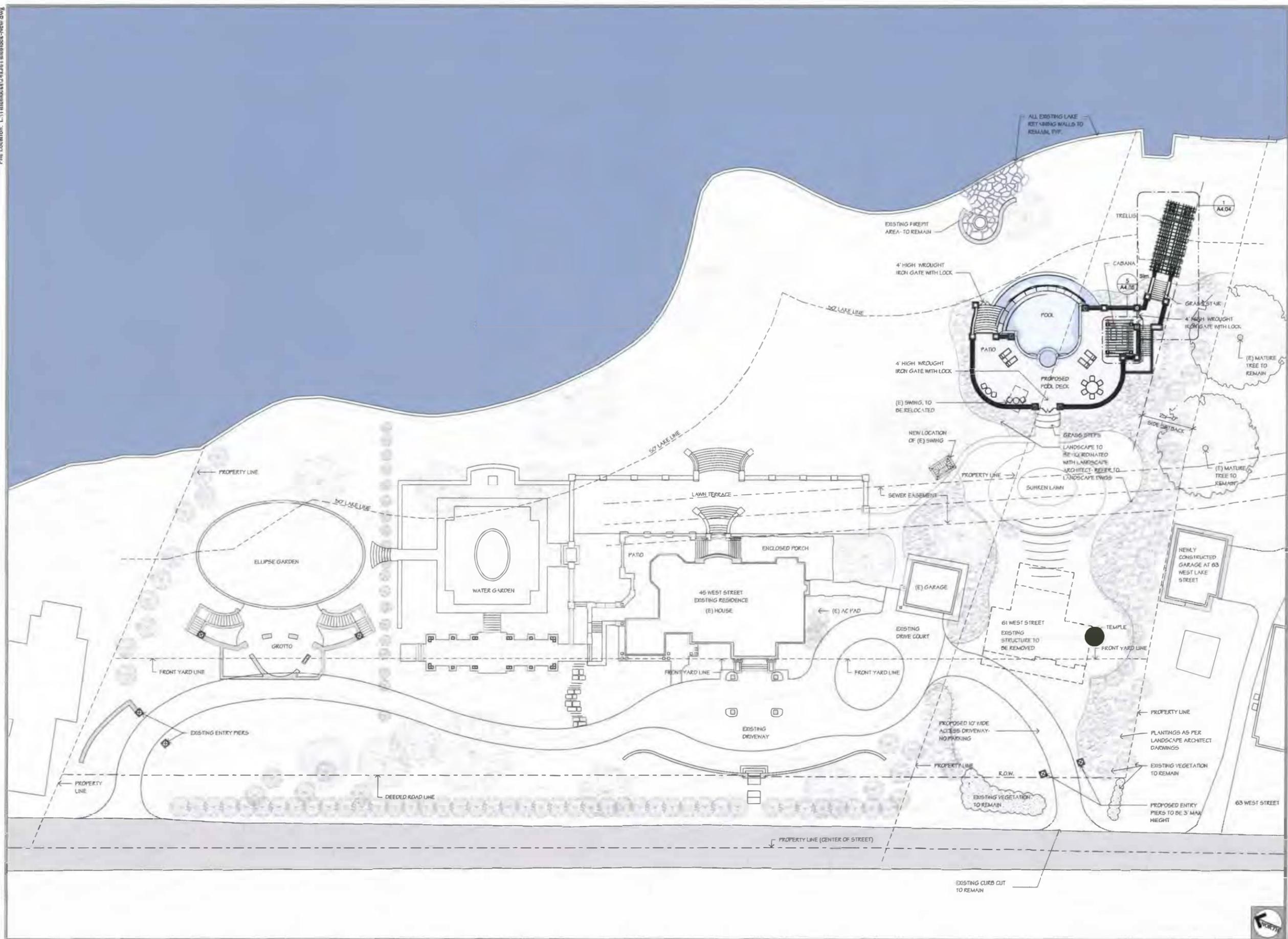
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General Contractor shall be responsible for securing all permits as necessary for the completion of work shown throughout the Contract Documents.
General Contractor shall lay out in the field the entire work to verify dimensional relationships before construction and location before proceeding.
Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the removal of completed work at General Contractor's cost, if a discrepancy which could have been discovered by the contractor is found.
General Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancies found in the plans, dimensions, existing conditions or any approval error in the classifying or specifying of a material, material or means of assembly is to be noted on the "Interlock sheet".
Drawings shall not be scaled for dimensions under any circumstances and Architect assumes no responsibility for use of incorrect scale.
Regardless of whether or not an item is shown or specified, General Contractor shall provide and keep it in place for the proper installation or function of any equipment or material, equipment and subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to building.
All dimensions to interferences walls indicated are to face of stud wall or concrete, unless noted otherwise.

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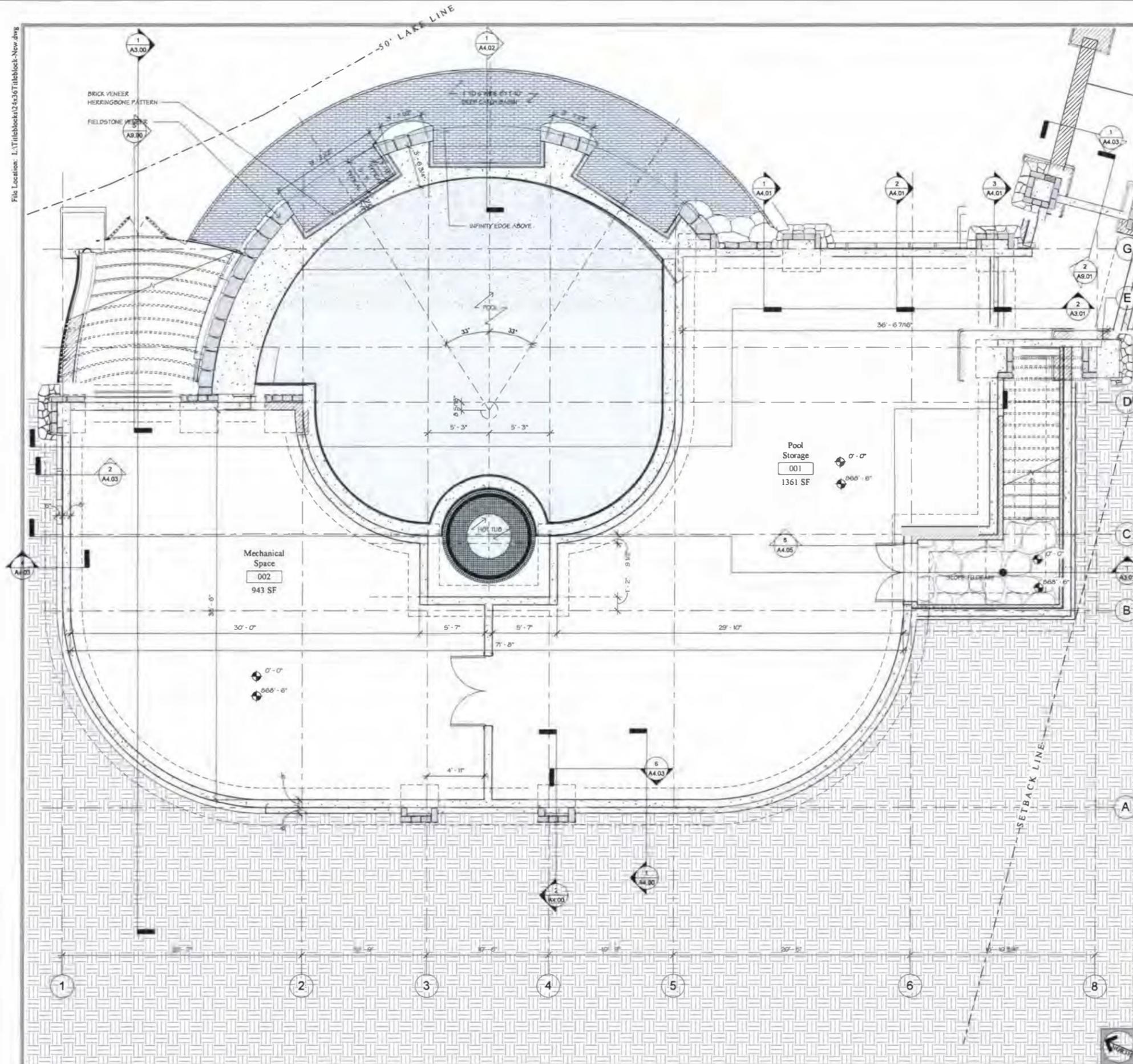


Drawing Title:
Site Plan

Drawn: _____ Author:
Checked: _____ Checker:
Project Number: 93480
Date: January 3, 2020
Drawing Number:



File Location: L:\Tileblock\13436\Tileblock-New.dwg



GENERAL CONSTRUCTION NOTES

- TYPICAL WALL AND CEILING ASSEMBLIES:
 - UNLESS OTHERWISE NOTED, ALL NEW AND/OR PATCHED INTERIOR WALL CONSTRUCTION SHALL BE 2" X 6" WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BASE AND 1/2" SKIM COAT PLASTER FINISH ON BOTH SIDES OF STUDS, TYP. REFER TO FINISH SCHEDULE FOR TRIM & WALL FINISHES.
 - NEW AND/OR PATCHED CEILINGS SHALL BE 5/8" GYPSUM BASE WITH 1/2" SKIM COAT PLASTER.
- G.C. SHALL BE RESPONSIBLE FOR PROVIDING WOOD BLOCKING AS REQUIRED FOR ALL ITEMS INCLUDING BUT NOT LIMITED TO CLOSET POLES, BUILT-INS, CABINETS, SHELVING, BATHROOM ACCESSORIES AND DECORATIVE LIGHTING.
- ALL NEW WALL CONSTRUCTION AND/OR WALL, CEILING, AND FLOOR INFILL THAT TIES INTO EXISTING CONSTRUCTION SHALL BE FURRED OUT AS REQUIRED TO ALIGN WITH EXISTING ADJACENT OR ABUTTING. ALL SEAMS AND JOINTS SHALL BE FULLY CONCEALED, TYPICAL THROUGHOUT.
- PATCHED WOOD FLOORING SHALL BE TOOTHED INTO EXISTING ADJACENT FLOORING, TYPICAL THROUGHOUT U.N.O.
- ALL GYPSUM BASE AT WET WALLS OF POWDER ROOM SIDE OF STUDS SHALL BE MOISTURE RESISTANT WITH 1/2" SKIM COAT PLASTER FINISH.
- G.C. SHALL BE RESPONSIBLE FOR PROVIDING CONTINUOUS R-19 BATT INSULATION IN BATHROOM WALLS, CEILING AND FLOORS, TO INSURE ACOUSTICAL INSULATION. INTERIOR FINISH SHALL INCLUDE ALL PREP WORK, ONE COAT PRIMER, AND TWO COATS FINISH WALLS AND CEILINGS SHALL BE LATEX, U.N.O.
- AT ALL STONE/TILE WORK, G.C. SHALL FULLY COORDINATE ALL JOINT AND SEAM LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION. ALL TILE TO BE PROVIDED AND INSTALLED BY G.C. PER OWNER'S SELECTIONS.
- ALL BATHROOM ACCESSORIES SHALL BE SELECTED BY OWNER, FURNISHED AND INSTALLED BY G.C. ALL MIRRORS AND MEDICINE CABINETS SHOWN SHALL BE CARRIED IN BASE BID (U.N.O.). G.C. TO PROVIDE BLOCKING BEHIND FIXTURES (TYP) AT ALL CLOSETS AND COAT CLOSETS, DASHED LINE INDICATES SHELF WITH ROD UNLESS OTHERWISE DETAILED.
- G.C. IS RESPONSIBLE FOR REPAIRS FOR ANY DAMAGE TO NEW OR EXISTING ITEMS DUE TO CONSTRUCTION WORK. TYPICAL FULLY PROTECT EXISTING WOOD FLOORS DURING CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR REPAIRING ANY DAMAGES, NICKS, SCRATCHES.
- LANDSCAPING IS PART OF A SEPARATE CONTRACT. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS.
- REFER TO ALL DRAWINGS, SCHEDULES, ALLOWANCES, DETAILS, AND ALL NOTES FOR SCOPE OF WORK. ANY ALLOWANCES PROVIDED ARE FOR MATERIALS ONLY, UNLESS OTHERWISE NOTED. ALL LABOR SHALL BE CARRIED IN BASE BID, TYPICAL.
- G.C. SHALL BE RESPONSIBLE FOR PROVIDING WOOD BLOCKING AS REQUIRED FOR ALL ITEMS INCLUDING BUT NOT LIMITED TO CABINETS, SHELVING, AND DECORATIVE LIGHTING.
- G.C. IS RESPONSIBLE TO PUT UP PLASTIC SEPARATION SHEETS TO CONTAIN DUST FROM SPREADING TO AREAS NOT IN THE SCOPE OF WORK. SEAL MUST BE TIGHT AS TO ALLOW NO DUST TO TRAVEL.
- UNLESS OTHERWISE NOTED, DOOR JAMBS SHALL BE LOCATED 5" FROM ADJACENT WALL AND DOOR JAMBS.
- G.C. SHALL PROTECT EXISTING MECHANICAL, ELECTRICAL AND PLUMBING WORK IN PLACE AND COORDINATE NEW WORK WITH M.E.P. CONTRACTORS, TYPICAL.
- G.C. TO PROTECT/COVER DUCT WORK OPENINGS FROM DEBRIS PENETRATION. DUCT WORK TO BE CLEANED PRIOR TO COMPLETION.

PLUMBING

- PROVIDE, INSTALL AND WARRANTY PLUMBING FIXTURES REFER TO PLUMBING FIXTURE SCHEDULE FOR ALL MODELS, TYP.
- PROVIDE NEW PVC STACKS TO NEW FIXTURE LOCATIONS. CONFIRM LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE NEW COPPER WATER SUPPLY PIPING.
- TEST WATER PRESSURE TO SUPPORT NEW FIXTURE SCHEDULE. PROVIDE BOOSTER AS NECESSARY TO REACH REQUIRED LEVEL BY CODE.

MECHANICAL/ELECTRICAL EQUIPMENT

- G.C. TO COORD EQUIPMENT, PIPING, FILTERS & ELECTRICAL CONNECTIONS ETC. LOCATIONS WITH ARCH PRIOR TO ANY INSTALL OF EQUIPMENT.



Project:
Private Pool House
 45 West Lake St,
 Skaneateles NY

Issue Dates and Revisions:
 Permit Set January 3, 2020
 Final Submission

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General Construction Notes

PLAN LEGEND

Room name	ROOM TAG		DETAIL #
101			SECTION TAG
150 SF			SHEET #
R.D.	ROOF DRAIN		DETAIL #
U.N.O.	UNLESS NOTED OTHERWISE		EXTERIOR ELEVATION TAG
C	CENTERLINE		SHEET #
A.F.F.	ABOVE FINISHED FLOOR		DETAIL #
G.C.	GENERAL CONTRACTOR		INTERIOR ELEVATION TAG
V.L.F.	VERIFY IN FIELD		SHEET #
—	WALL TYPE; REFER TO A110		DETAIL #
	SHOWER HEAD		ENLARGED PLAN KEY
	RECESSED FIRE EXTINGUISHER CABINET		SHEET #
—	LINEAR DRAIN - REFER TO PLUMBING SCHEDULE		WINDOW TAG; REFER TO WINDOW SCHEDULE A7.01 & A7.02
3'-0"	DIMENSION TO FACE OF STUD		DOOR TAG; REFER TO DOOR SCHEDULE A7.03
3'-0"	DIMENSION TO FINISH FACE		

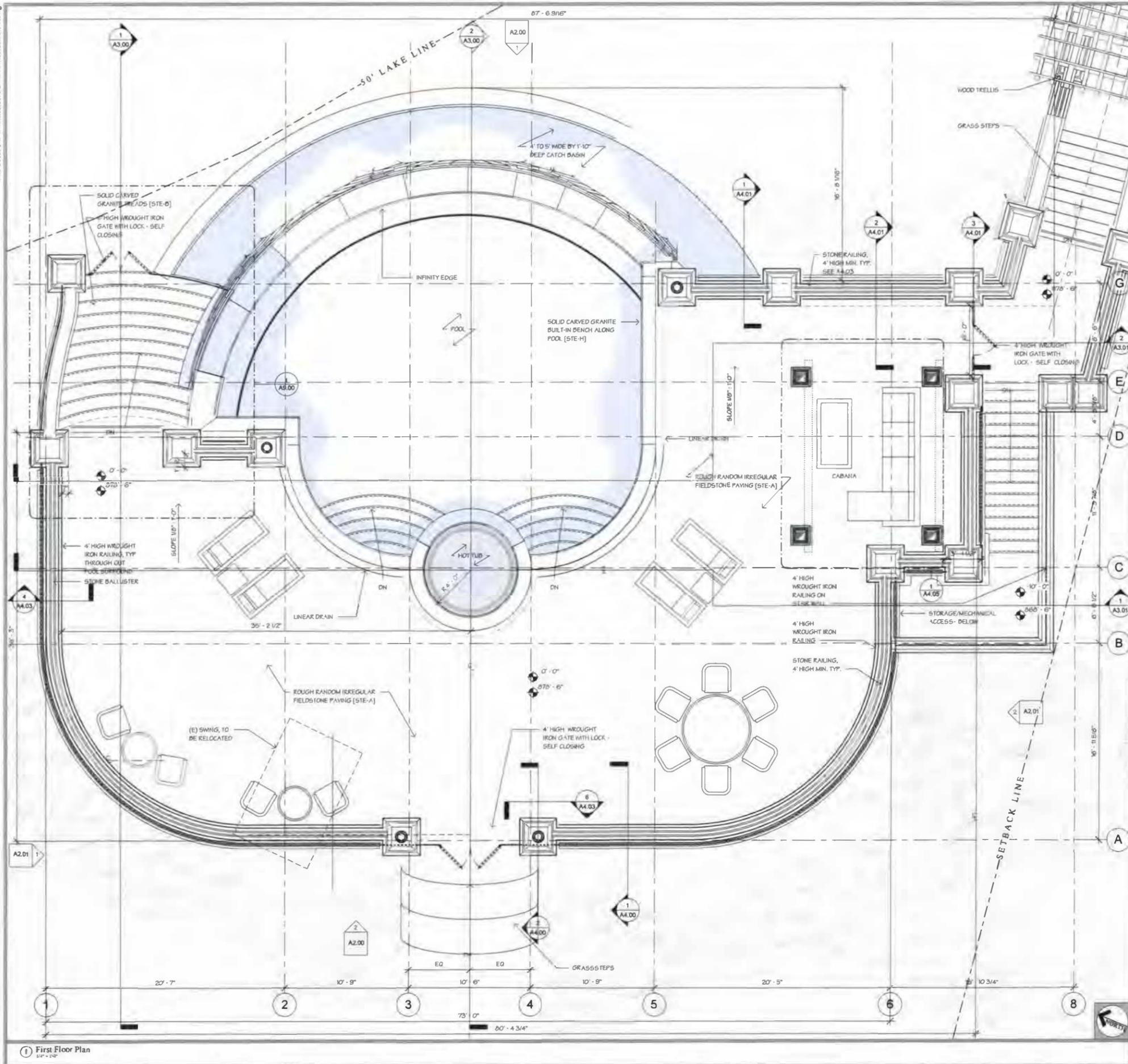


Registration:
 Drawing Title:
Basement Plan
 Drawn: Author
 Checked: Checker
 Project Number: 93480
 Date: January 3, 2020
 Drawing Number:

A1.00

Plan Legend

File Location: L:\Titleblocks\124\36\Titleblock-New.dwg



GENERAL CONSTRUCTION NOTES

- TYPICAL WALL AND CEILING ASSEMBLIES:
 - UNLESS OTHERWISE NOTED, ALL NEW AND/OR PATCHED INTERIOR WALL CONSTRUCTION SHALL BE 2" X 6" WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BASE AND 1/2" SKIM COAT PLASTER FINISH ON BOTH SIDES OF STUDS, TYP. REFER TO FINISH SCHEDULE FOR TRIM & WALL FINISHES.
 - NEW AND/OR PATCHED CEILINGS SHALL BE 5/8" GYPSUM BASE WITH 1/2" SKIM COAT PLASTER.
- G.C. SHALL BE RESPONSIBLE FOR PROVIDING WOOD BLOCKING AS REQUIRED FOR ALL ITEMS INCLUDING BUT NOT LIMITED TO CLOSET POLES, BUILT-INS, CABINETS, SHELVING, BATHROOM ACCESSORIES AND DECORATIVE LIGHTING.
- ALL NEW WALL CONSTRUCTION AND/OR WALL, CEILING, AND FLOOR INFILL THAT TIES INTO EXISTING CONSTRUCTION SHALL BE FURRED OUT AS REQUIRED TO ALIGN WITH EXISTING ADJACENT OR ABUTTING. ALL BEAMS AND JOINTS SHALL BE FULLY CONCEALED, TYPICAL THROUGHOUT.
- PATCHED WOOD FLOORING SHALL BE TOOTHED INTO EXISTING ADJACENT FLOORING, TYPICAL THROUGHOUT U.N.D.
- ALL GYPSUM BASE AT WET WALLS OF POWDER ROOM SIDE OF STUDS SHALL BE MOISTURE RESISTANT WITH 1/2" SKIM COAT PLASTER FINISH.
- G.C. SHALL BE RESPONSIBLE FOR PROVIDING CONTINUOUS R-19 BATT INSULATION IN BATHROOM WALLS, CEILING AND FLOORS, TO INSURE ACOUSTICAL INSULATION.
- INTERIOR PAINTING SHALL INCLUDE ALL PREP WORK, ONE COAT PRIMER, AND TWO COATS FINISH. WALLS AND CEILINGS SHALL BE LATEX, U.N.O.
- AT ALL STONE/TILE WORK, G.C. SHALL FULLY COORDINATE ALL JOINT AND SEAM LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION. ALL TILE TO BE PROVIDED AND INSTALLED BY G.C. PER OWNER'S SELECTIONS.
- ALL BATHROOM ACCESSORIES SHALL BE SELECTED BY OWNER, FURNISHED AND INSTALLED BY G.C. ALL MIRRORS AND MEDICINE CABINETS SHOWN SHALL BE CARRIED IN BASE BID (U.N.O.). G.C. TO PROVIDE BLOCKING BEHIND FIXTURES (TYP.) AT ALL CLOSETS AND COAT CLOSETS. DASHED LINE INDICATES SHELF WITH ROD UNLESS OTHERWISE DETAILED.
- G.C. IS RESPONSIBLE FOR REPAIRS FOR ANY DAMAGE TO NEW OR EXISTING ITEMS DUE TO CONSTRUCTION WORK, TYPICAL. FULLY PROTECT EXISTING WOOD FLOORS DURING CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR REPAIRING ANY DAMAGES, NICKS, SCRATCHES.
- LANDSCAPING IS PART OF A SEPARATE CONTRACT. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS.
- REFER TO ALL DRAWINGS, SCHEDULES, ALLOWANCES, DETAILS, AND ALL NOTES FOR SCOPE OF WORK. ANY ALLOWANCES PROVIDED ARE FOR MATERIALS ONLY, UNLESS OTHERWISE NOTED. ALL LABOR SHALL BE CARRIED IN BASE BID, TYPICAL.
- G.C. SHALL BE RESPONSIBLE FOR PROVIDING WOOD BLOCKING AS REQUIRED FOR ALL ITEMS INCLUDING BUT NOT LIMITED TO CABINETS, SHELVING, AND DECORATIVE LIGHTING.
- G.C. IS RESPONSIBLE TO PUT UP PLASTIC SEPARATION SHEETS TO CONTAIN DUST FROM SPREADING TO AREAS NOT IN THE SCOPE OF WORK. SEAL MUST BE TIGHT AS TO ALLOW NO DUST TO TRAVEL.
- UNLESS OTHERWISE NOTED, DOOR JAMBS SHALL BE LOCATED 5" FROM ADJACENT WALL AND DOOR JAMBS.
- G.C. SHALL PROTECT EXISTING MECHANICAL, ELECTRICAL AND PLUMBING WORK IN PLACE AND COORDINATE NEW WORK WITH M.E.P. CONTRACTORS, TYPICAL.
- G.C. TO PROTECT/COVER DUCT WORK OPENINGS FROM DEBRIS PENETRATION. DUCT WORK TO BE CLEANED PRIOR TO COMPLETION.

PLUMBING

- PROVIDE, INSTALL AND WARE ANY PLUMBING FIXTURES REFER TO PLUMBING FIXTURE SCHEDULE FOR ALL MODELS, TYP.
- FROM NEW PVC STACKS TO NEW FIXTURE LOCATIONS. CONFIRM LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE NEW CUPPER WATER SUPPLY PIPING
- TEST WATER PRESSURE TO SUPPORT NEW FIXTURE SCHEDULE. PROVIDE BOOSTER AS NECESSARY TO REACH REQUIRED LEVEL BY CODE.

MECHANICAL/POOL EQUIPMENT

- G.C. TO COORD EQUIPMENT, PIPING, FILTERS & ELECTRICAL CONNECTIONS ETC. LOCATIONS WITH ARCH PRIOR TO ANY INSTALL OF EQUIPMENT.



Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

General Notes:
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General Construction Notes

PLAN LEGEND

Room name	ROOM TAG	DETAIL #
101		SECTION TAG
150 SF		SHEET #
R.D.	ROOF DRAIN	DETAIL #
U.N.O.	UNLESS NOTED OTHERWISE	EXTERIOR ELEVATION TAG
C	CENTERLINE	SHEET #
A.F.F.	ABOVE FINISHED FLOOR	DETAIL #
G.C.	GENERAL CONTRACTOR	INTERIOR ELEVATION TAG
V.I.F.	VERIFY IN FIELD	SHEET #
	WALL TYPE: REFER TO A1.10	
	SHOWER HEAD	DETAIL #
FE	RECESSED FIRE EXTINGUISHER CABINET	ENLARGED PLAN KEY
	LINEAR DRAIN - REFER TO PLUMBING SCHEDULE	SHEET #
	3'-0"	WINDOW TAG: REFER TO WINDOW SCHEDULE A7.01 & A7.02
	3'-0"	DOOR TAG: REFER TO DOOR SCHEDULE A7.03

Plan Legend



Registration:
Drawing Title:
First Floor Plan
Drawn: L.S.
Checked: J.M.
Project Number: 93480
Date: January 3, 2020
Drawing Number:

A1.10

File Location: L:\Titleblocks\24x36\Titleblock-New.dwg

Project:
Private Pool House
45 West Lake St,
Skaneateles NY

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Permit Set January 3, 2020
Final Submission

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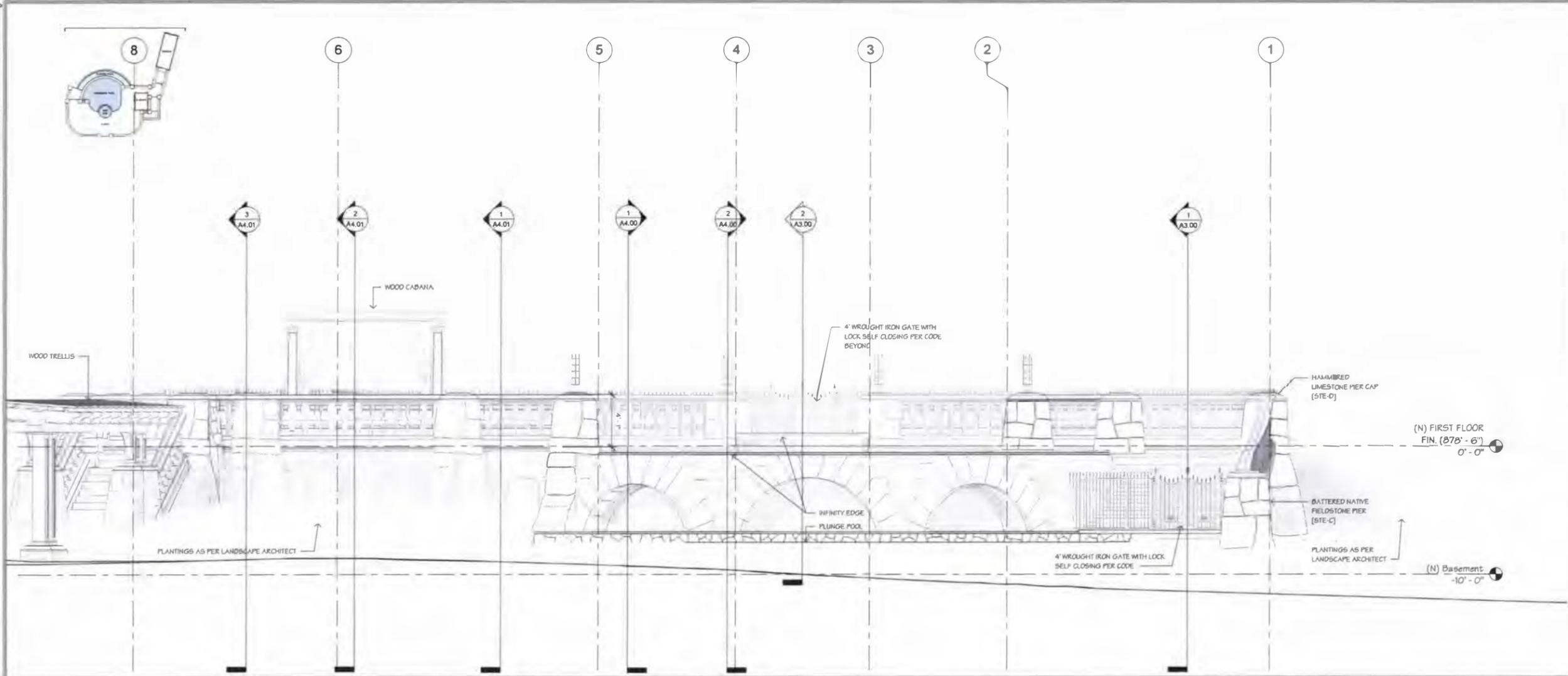
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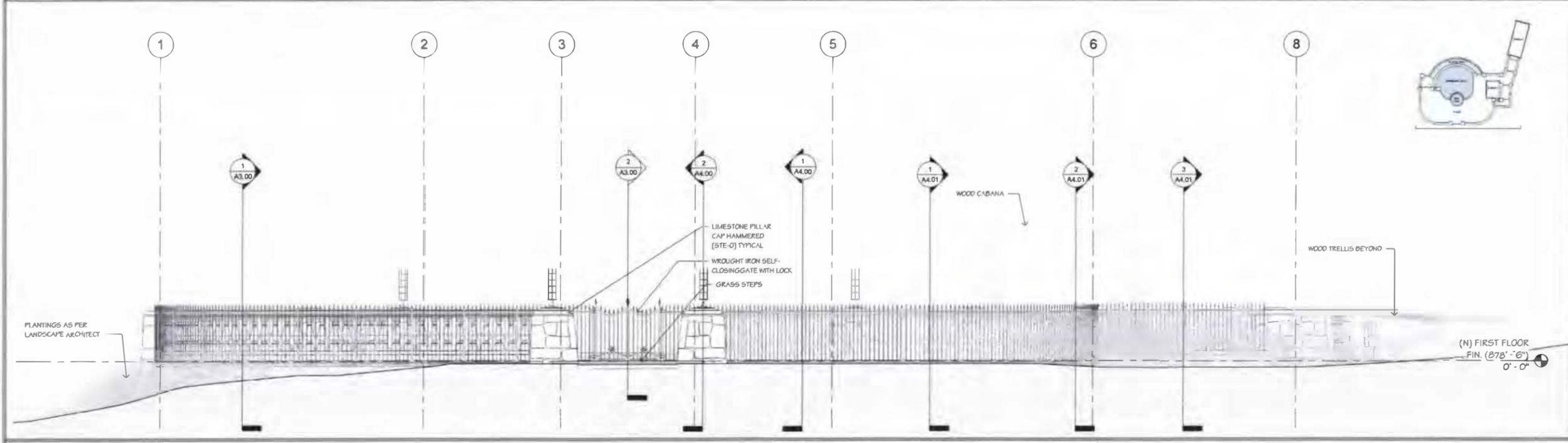
Drawing Title:
East and West Elevations

Drawn: I.S.
Checked: J.M.
Project Number: 93480
Date: January 3, 2020
Drawing Number:

A2.00



1 East Elevation (Lakeside)
1/4" = 1'-0"



2 West Elevation- Streetside
1/4" = 1'-0"

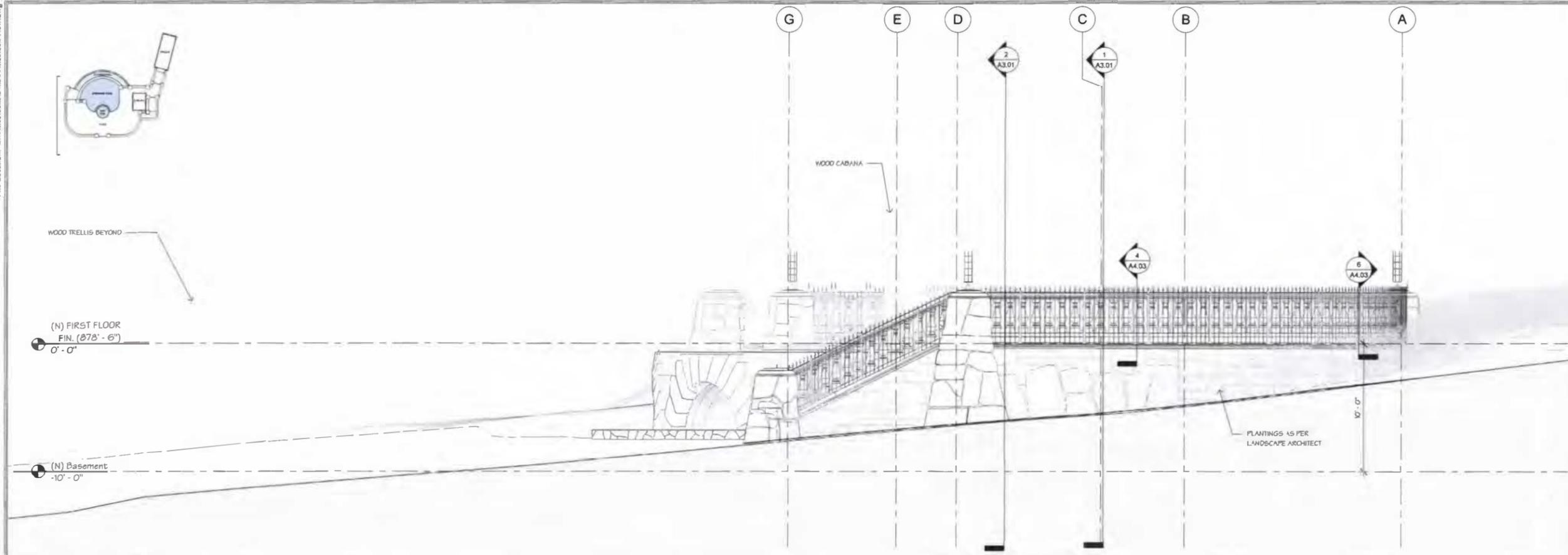
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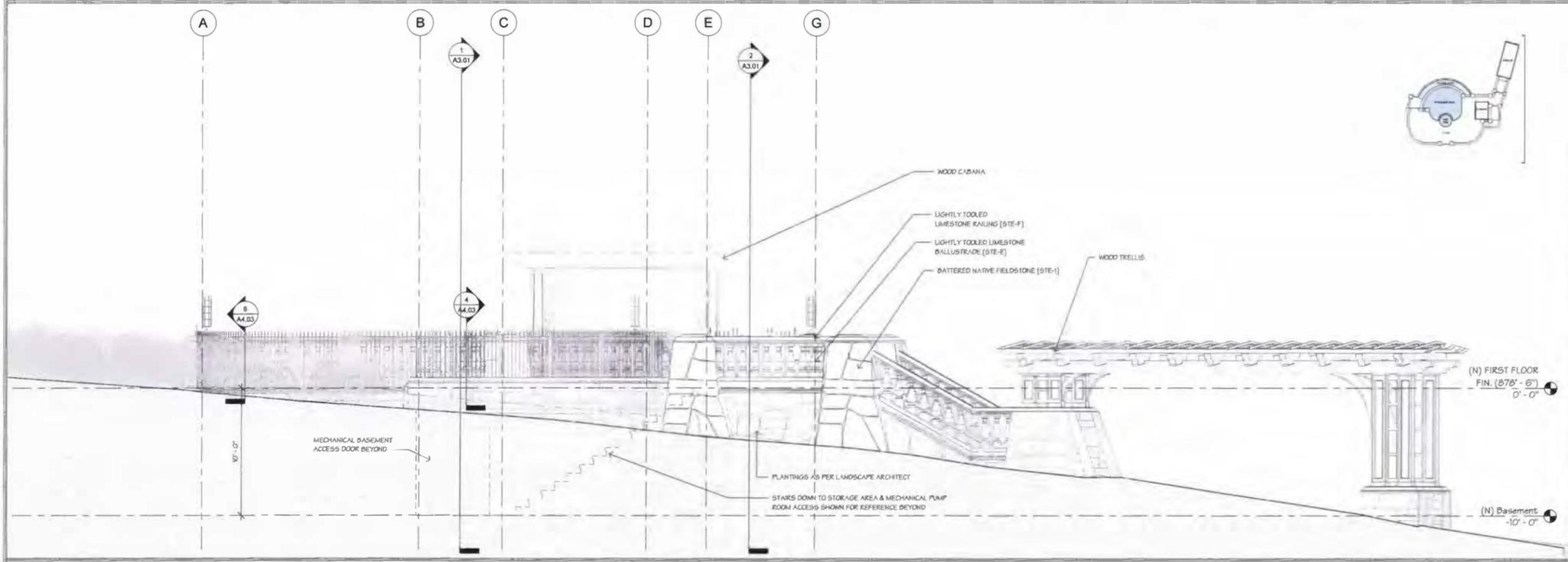
Project:
Private Pool House
 45 West Lake St,
 Skaneateles NY

Issue Dates and Revisions:
 Permit Set January 3, 2020
 Final Submission

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1 North Elevation (Main House Side)
 1/8" = 1'-0"



2 South Elevation (Property Edge Side)
 1/8" = 1'-0"



Registration:
 Drawing Title:
North and South Elevations

Drawn: _____ Author
 Checked: _____ Checker
 Project Number: 93480
 Date: January 3, 2020
 Drawing Number:

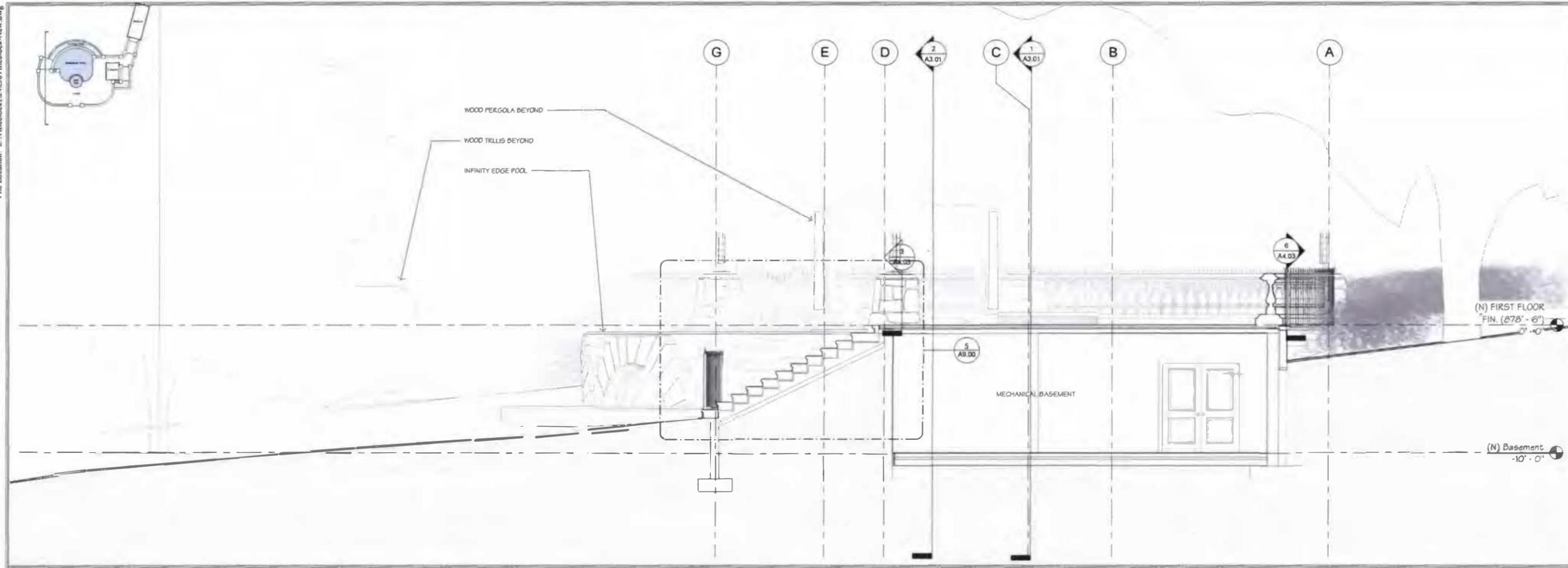
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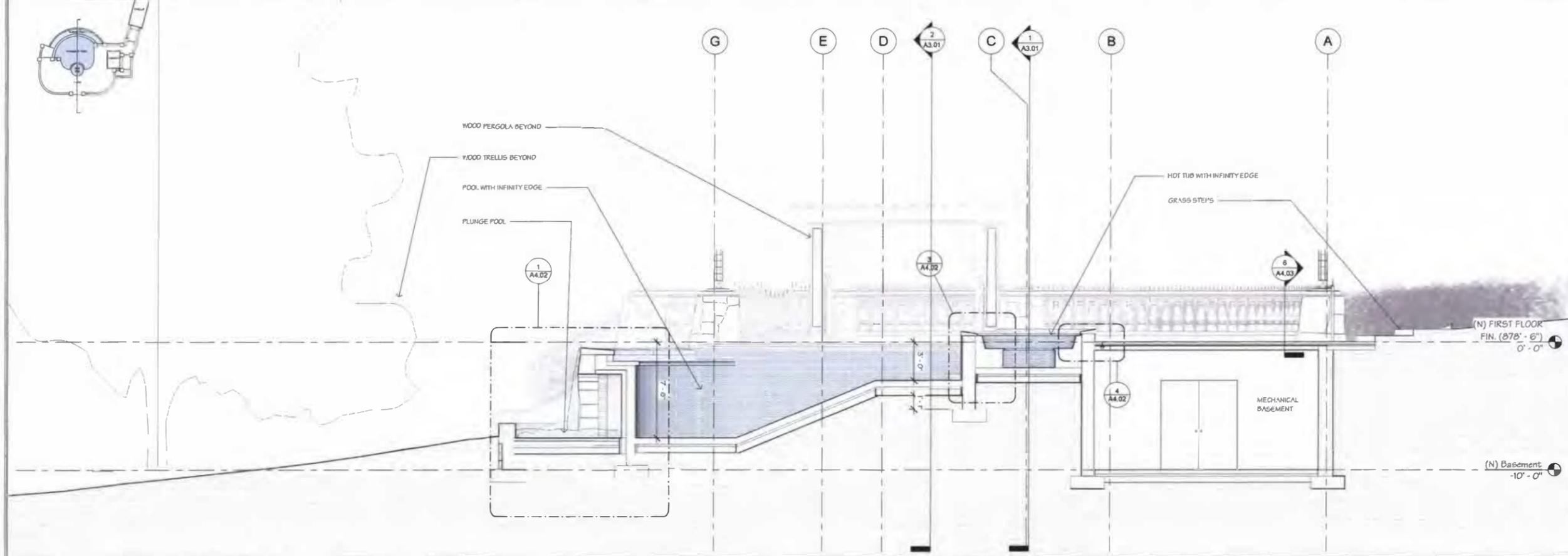
MEYER & MEYER
 ARCHITECTS
 124 West Lake Street
 Skaneateles, NY 13152
 Phone: 815.339.1111
 Fax: 815.339.1112
 www.meyerandmeyer.com

Project:
Private Pool House
 45 West Lake St,
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Issue Dates and Revisions:
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① Cross Section 1 Looking South Through Exterior Stone Stair
 1/8" = 1'-0"



② Cross Section 2 Looking South Along Centerline
 1/8" = 1'-0"

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Registration:

Drawing Title:
Building Sections

Drawn: I.S.
 Checked: J.M.
 Project Number: 93480
 Date: January 3, 2020
 Drawing Number:

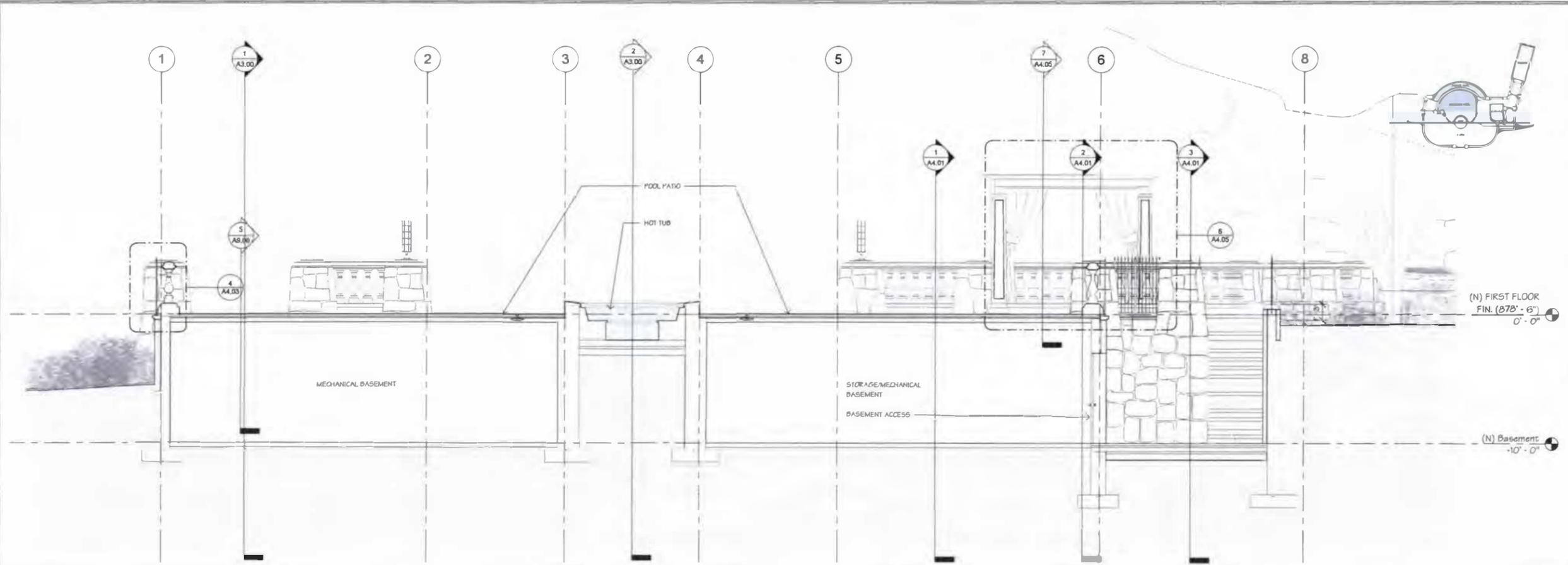
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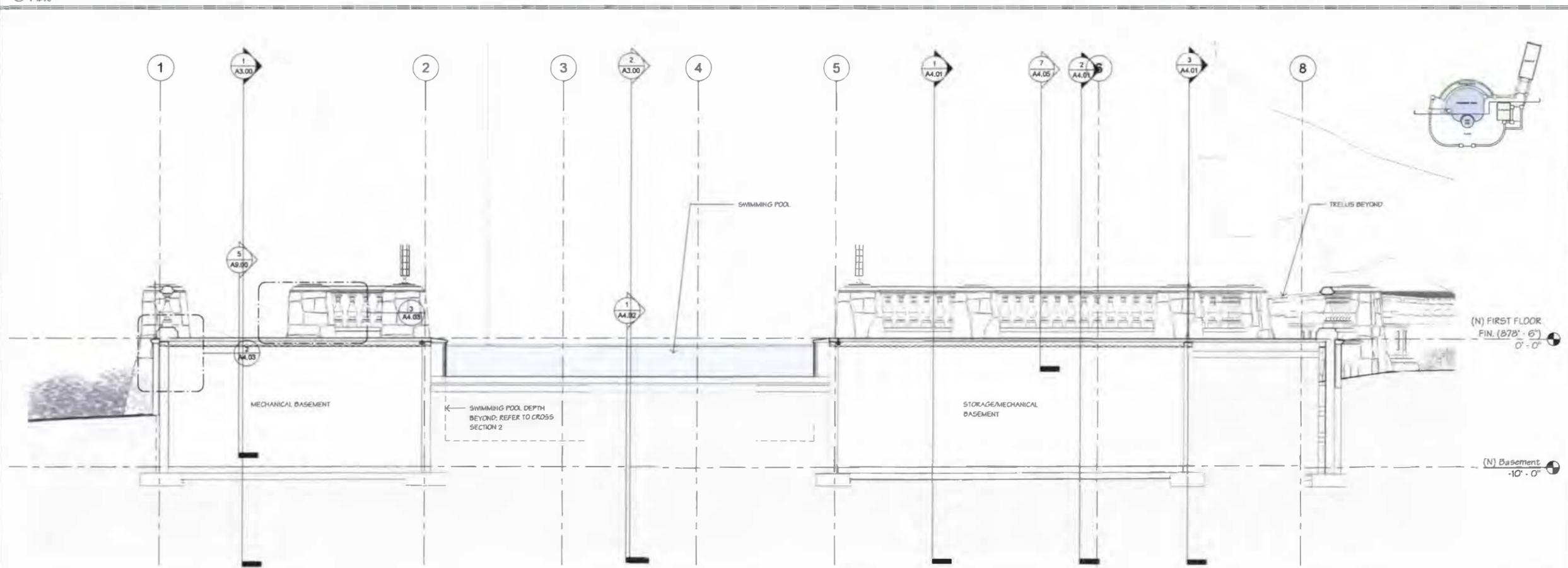
MEYER & MEYER
ARCHITECTURE AND INTERIORS

Project:
Private Pool House
45 West Lake St,
Skanateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission



1 Longitudinal Section 1 Looking East Cut Through Hot Tub



2 Longitudinal Section 2 Looking East Cut Through Pool

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Registration:



Drawing Title:
Building Sections

Drawn: L.S.
Checked: J.M.
Project Number: 93480
Date: January 3, 2020
Drawing Number:

A3.01

File Location: L:\Tileblock\2436\Tileblock-New.dwg

Project:
Private Pool House
 45 West Lake St,
 Skaneateles NY

Issue Dates and Revisions:
 Permit Set January 3, 2020
 Final Submission

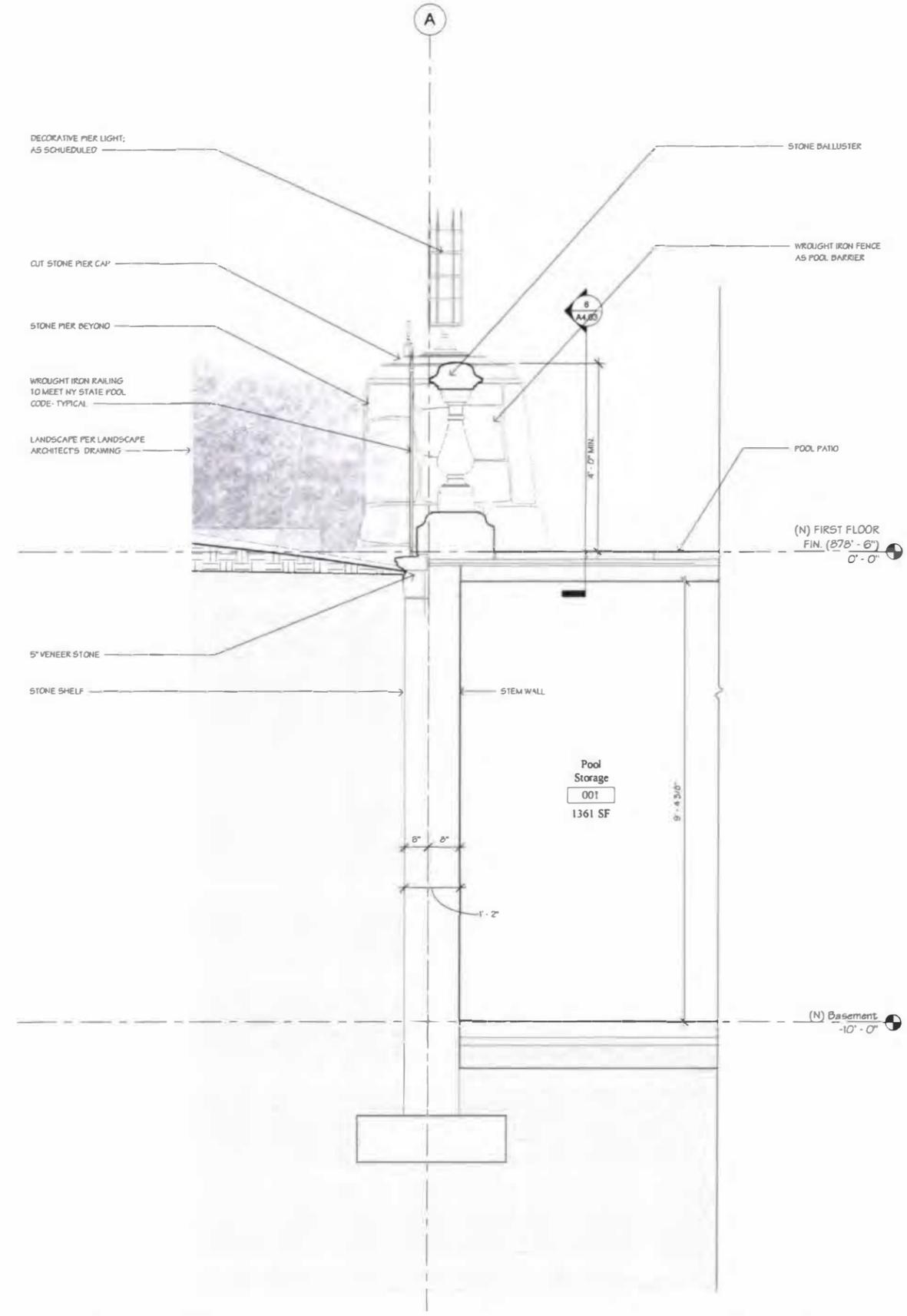
General Notes:
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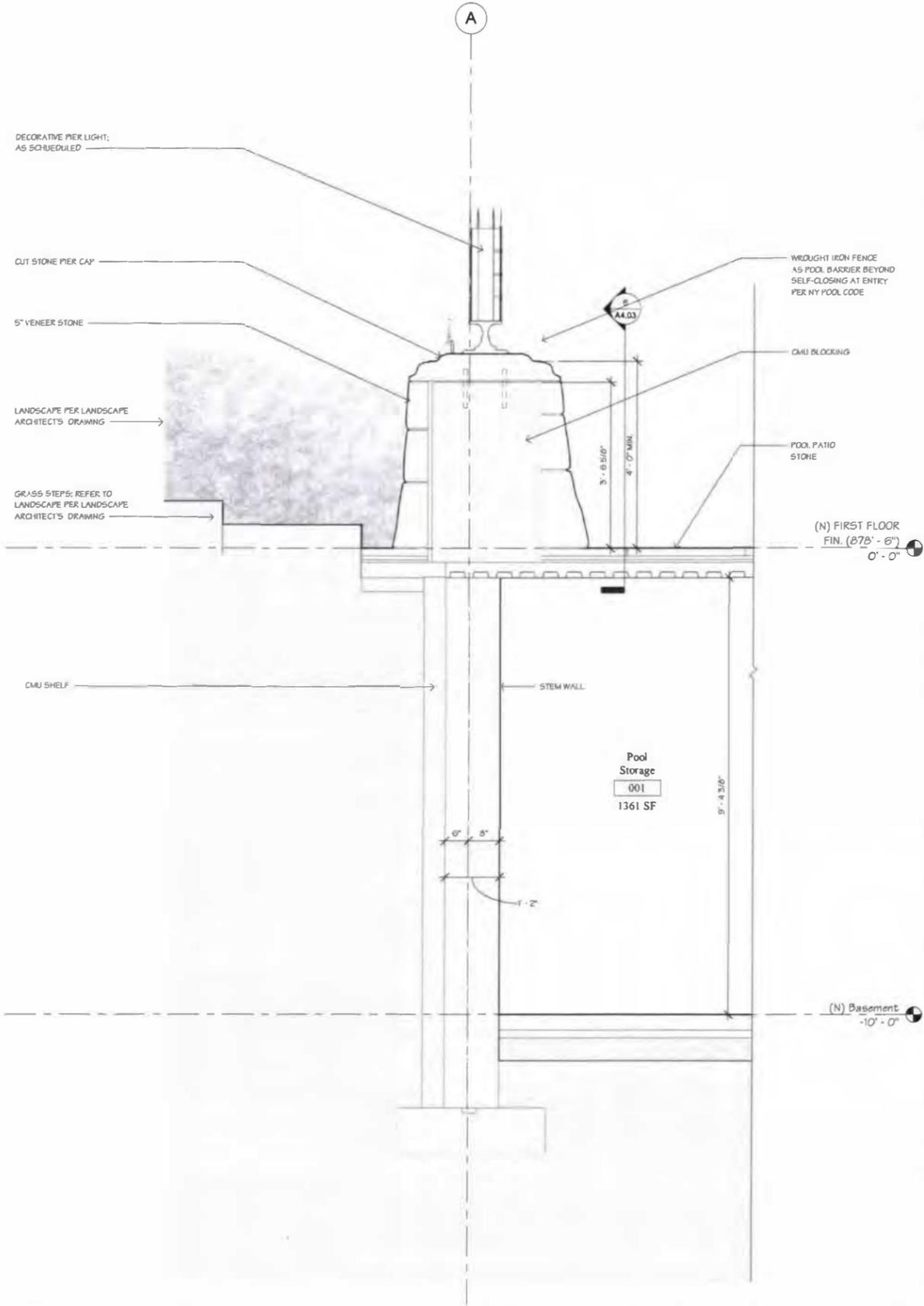
Drawing Title:
Typical Wall Sections

Drawn: L.S.
 Checked: J.M.
 Project Number: 93480
 Date: January 3, 2020
 Drawing Number

A4.00



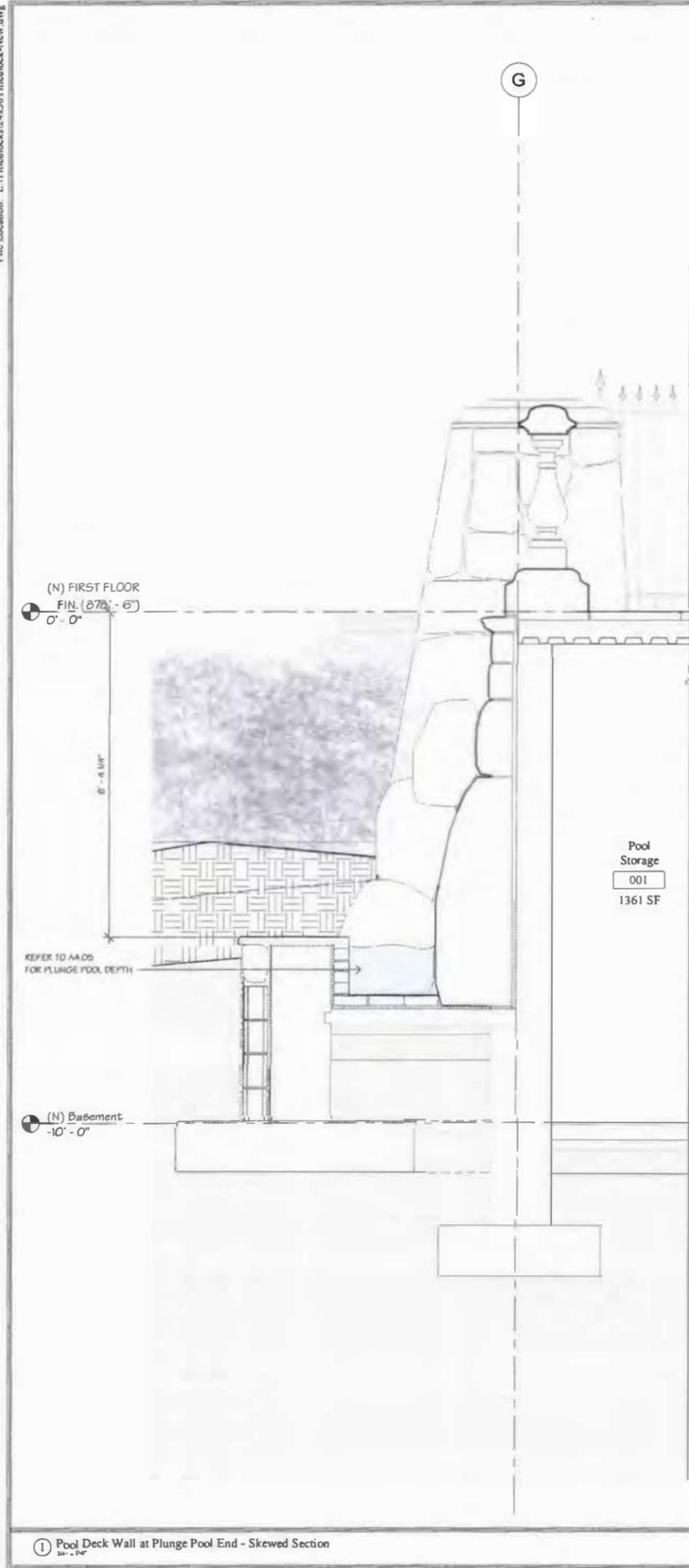
1 Typical Pool Deck Wall Section
 24" x 110"



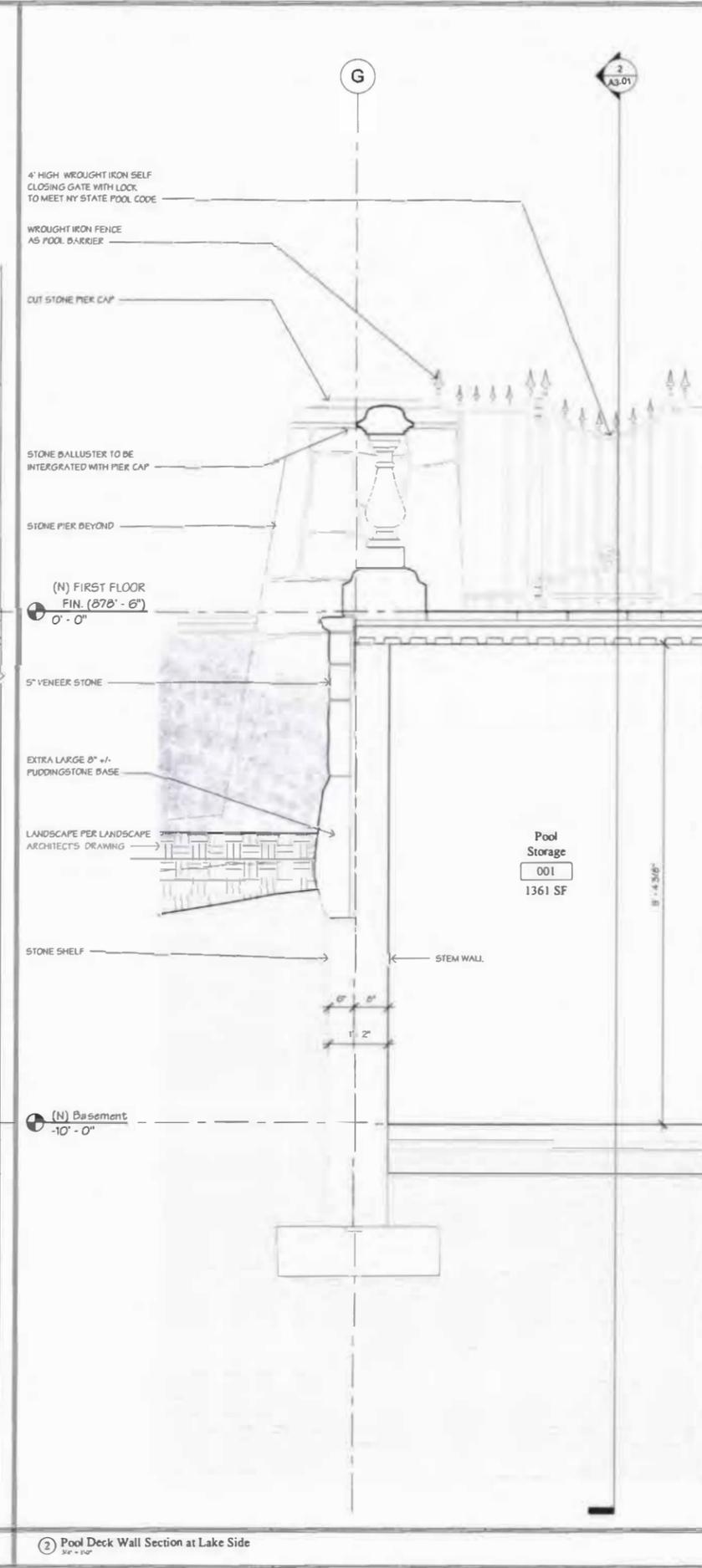
2 Typical Section at Pier
 24" x 110"

Project:
Private Pool House
 45 West Lake St,
 Skaneateles NY

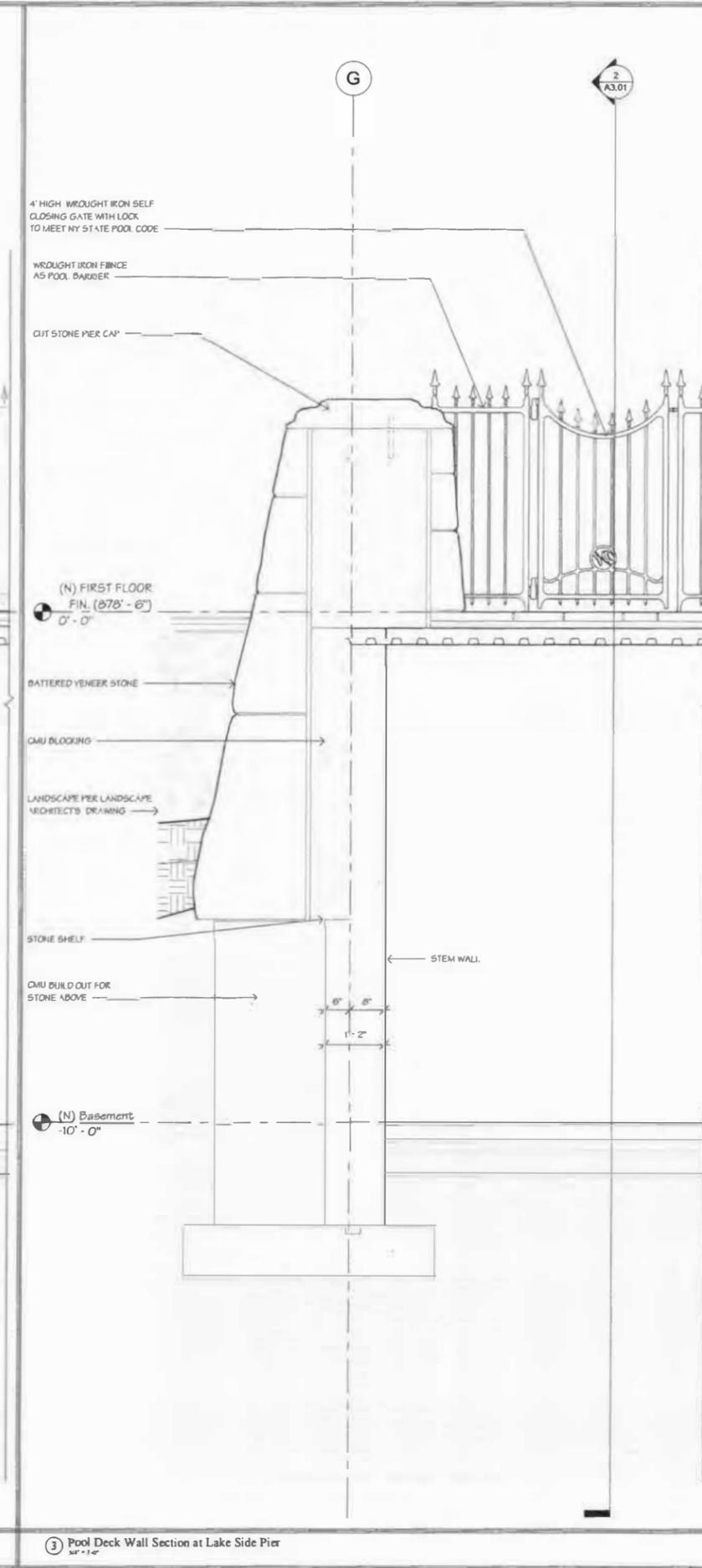
Issue Dates and Revisions:
 Permit Set January 3, 2020
 Final Submission



1 Pool Deck Wall at Plunge Pool End - Skewed Section
 3/4\"/>



2 Pool Deck Wall Section at Lake Side
 3/4\"/>



3 Pool Deck Wall Section at Lake Side Pier
 3/4\"/>

General Notes:
 General Contractor shall make all Sub-structure and Suppliers aware of the requirement of these notes.
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 All dimensions to annotations shall be indicated on the face of wall or penetration to, unless noted otherwise.
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Drawing Title:
Pool Deck Wall Sections

Drawn: Author
 Checked: Checker
 Project Number: 93480
 Date: January 3, 2020
 Drawing Number:

File Location: L:\Tileblocks\243\07Tileblock-New.dwg

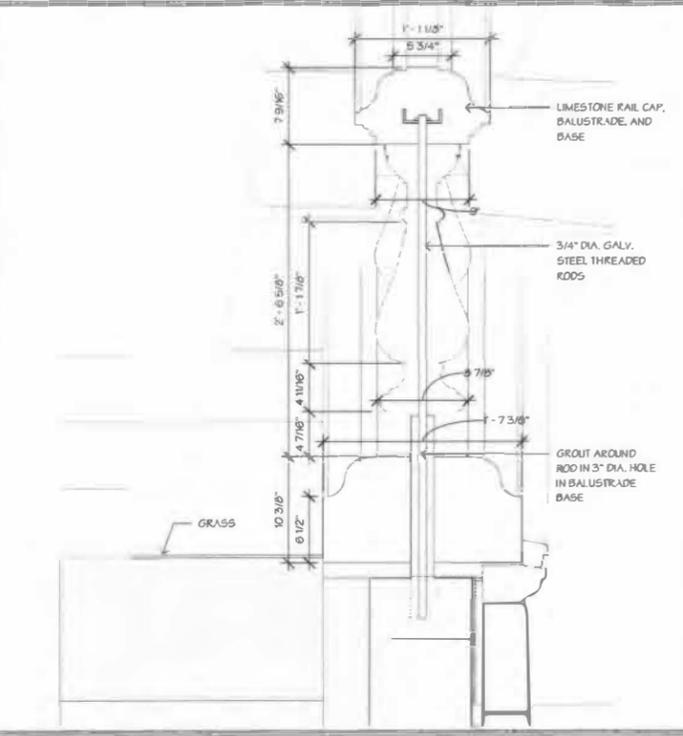
Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

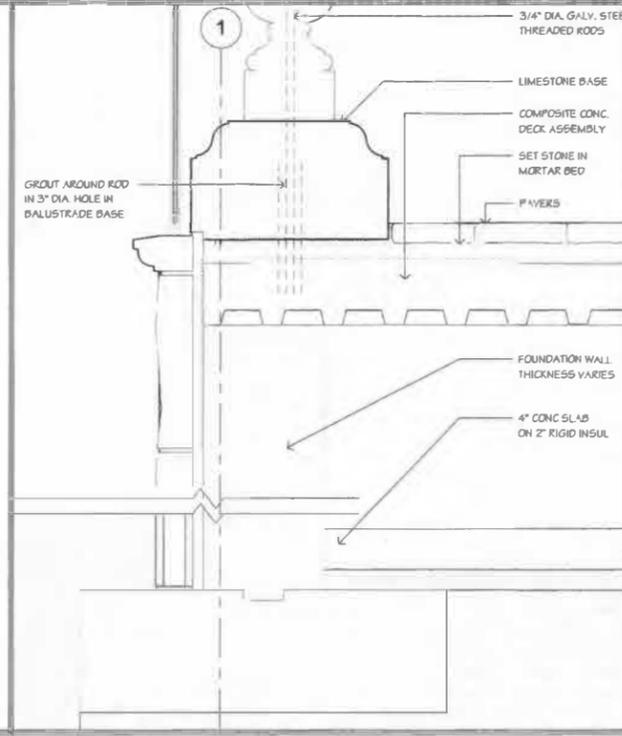
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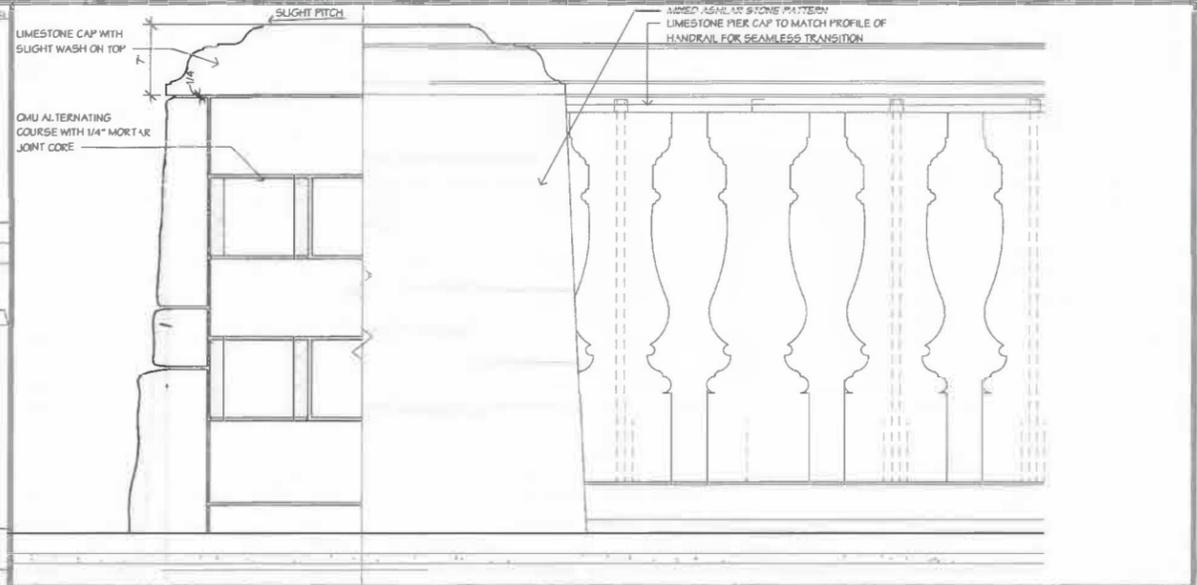
Registration:
Drawing Title:
Pier and Railing Details
Drawn: L.S.
Checked: J.M.
Project Number: 93480
Date: January 3, 2020
Drawing Number:



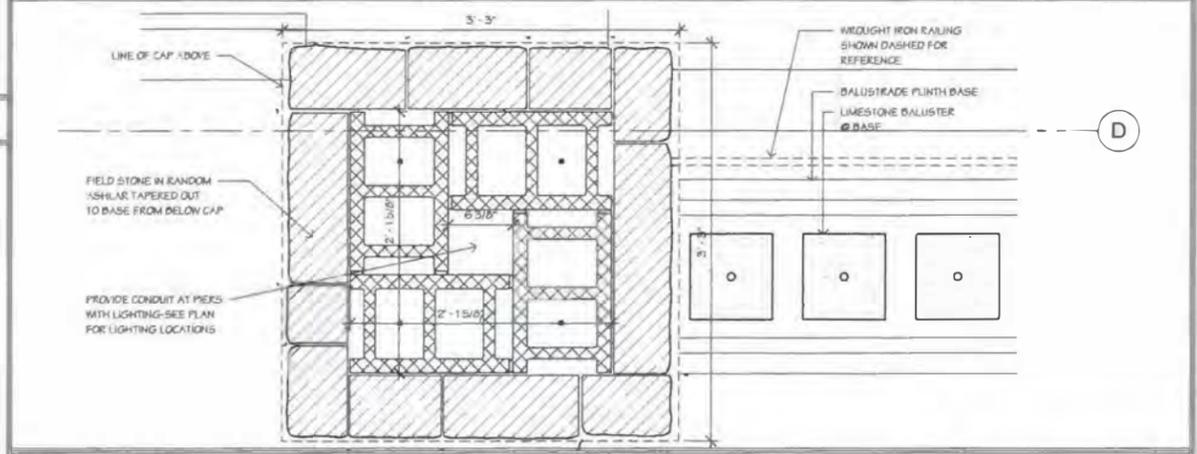
1 Section Through Stone Wall Railing
1/2" = 1'-0"



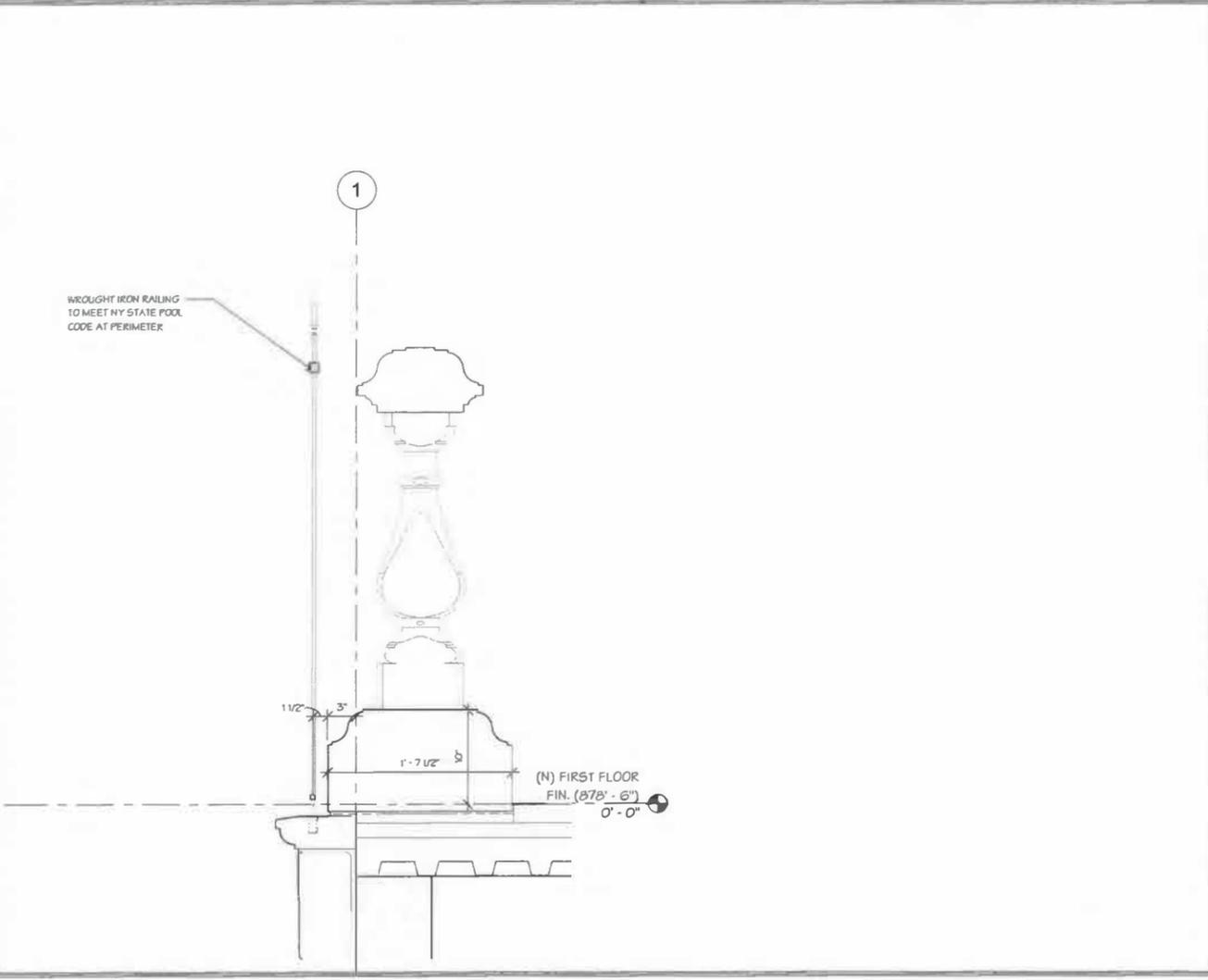
2 North Foundation Wall - Section
1/2" = 1'-0"



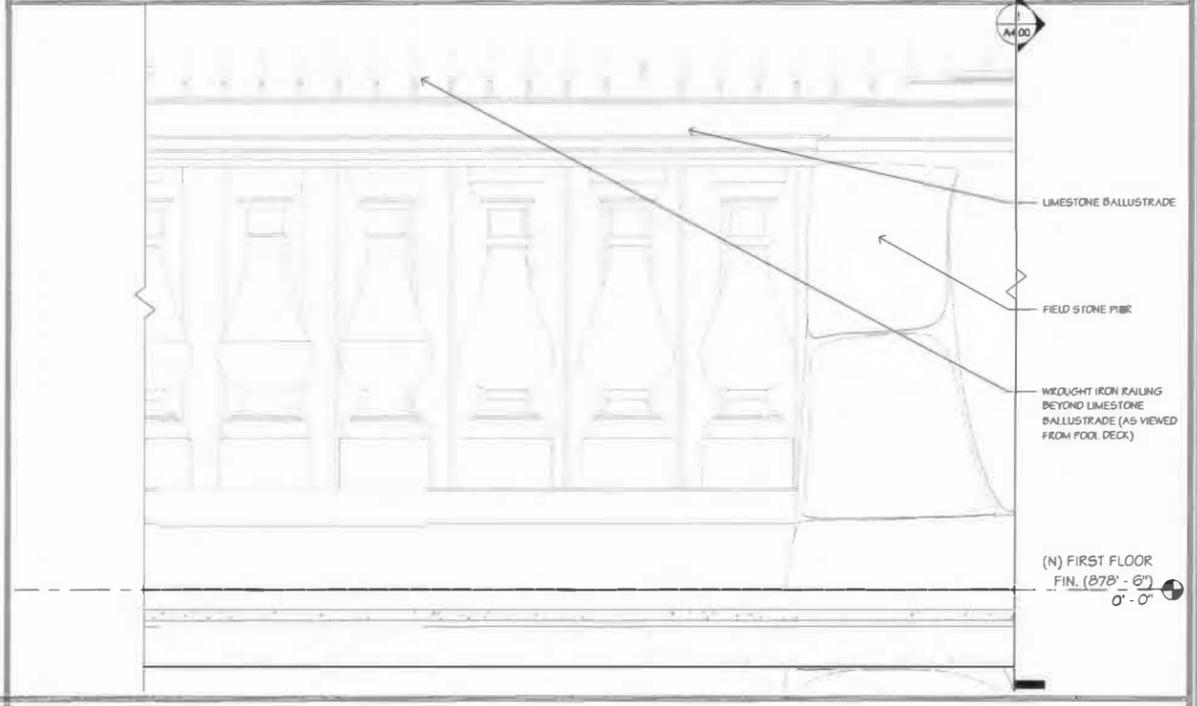
3 Section/Elevation Through Pier
1/2" = 1'-0"



5 Baluster and Pier Plan - Enlarged
1/2" = 1'-0"



4 Wrought Iron & Stone Railing - Section
1/2" = 1'-0"



6 Wrought Iron Railing Elevation 1
1/2" = 1'-0"

File Location: L:\T\liblock\24x36\Trellis\liblock-New.dwg

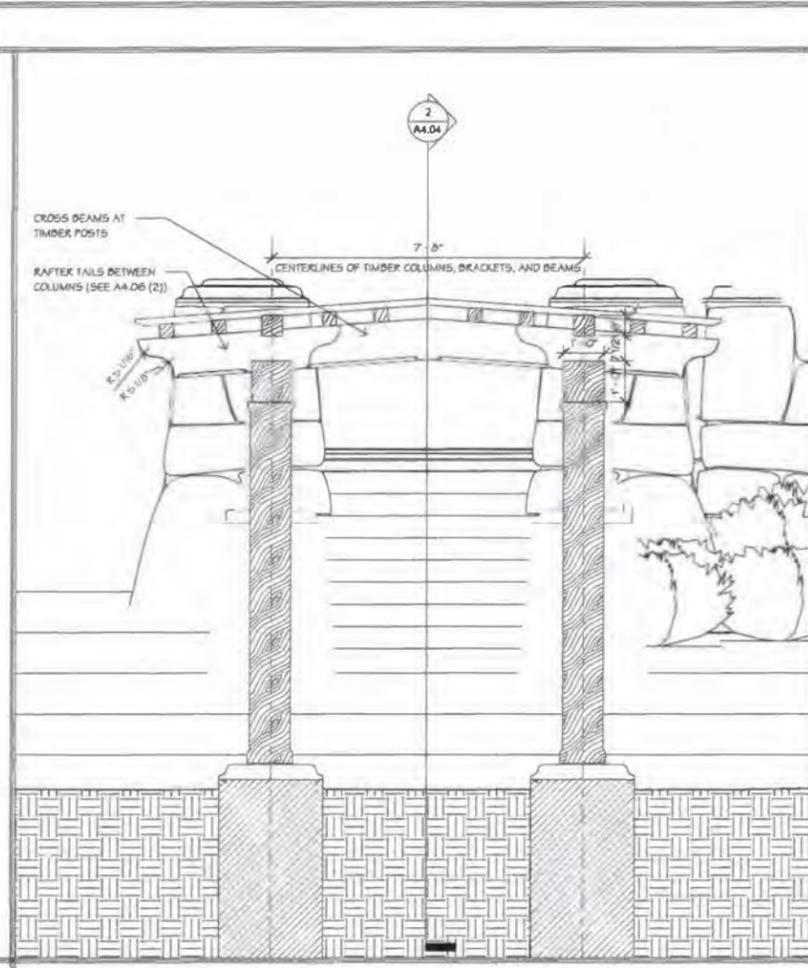
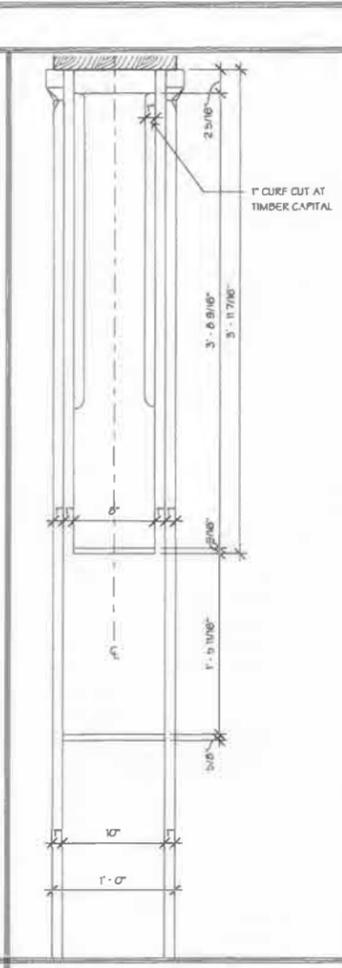
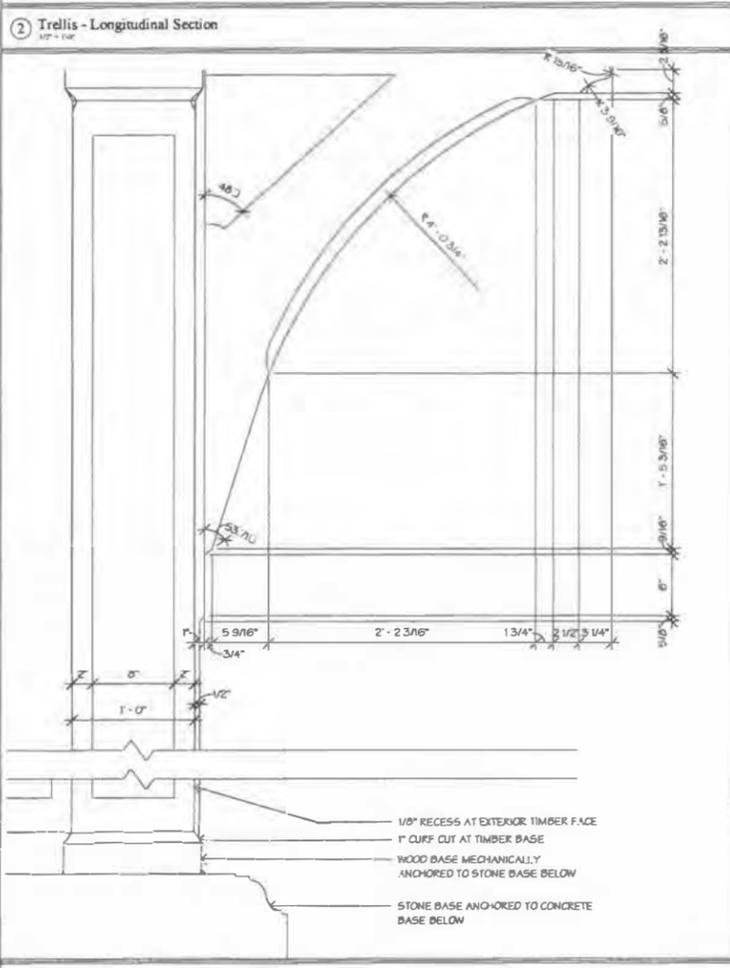
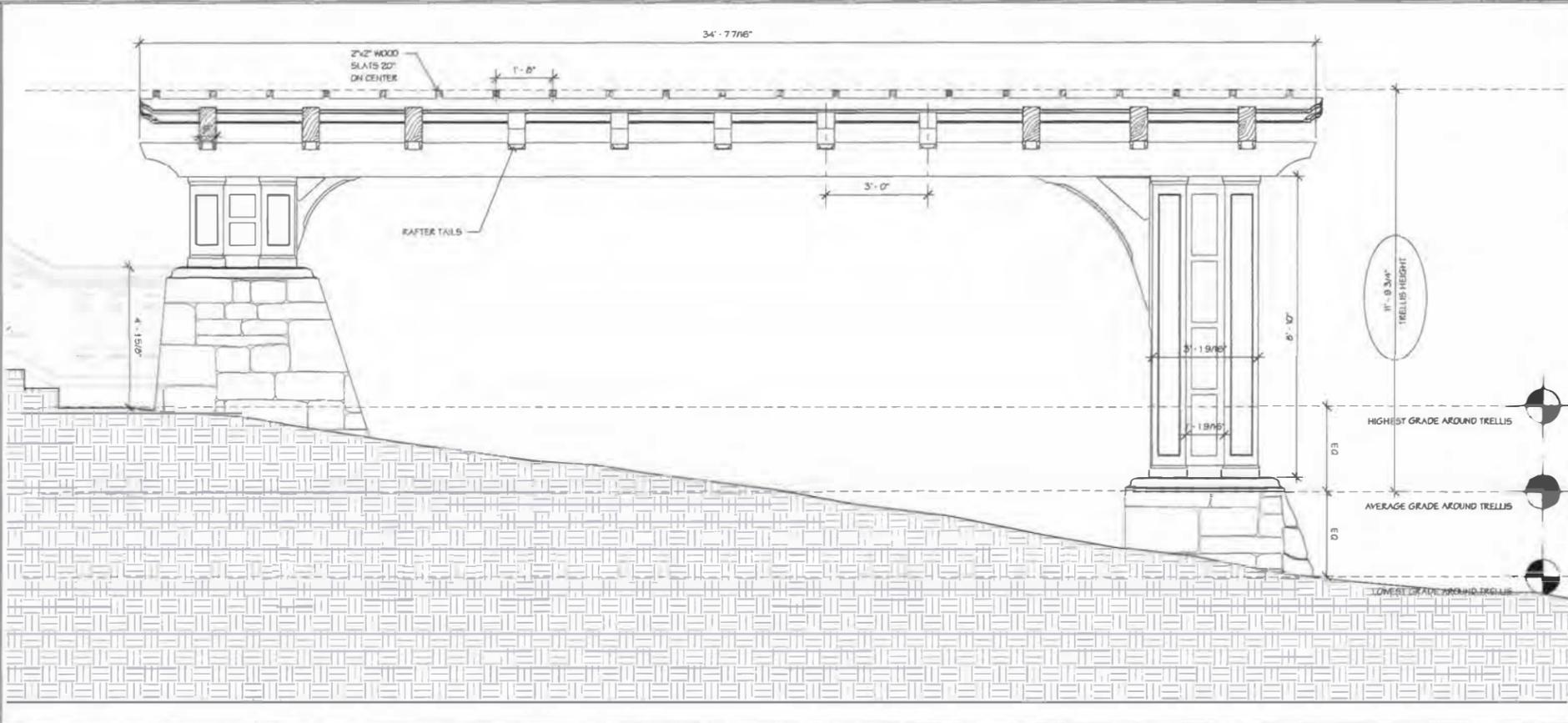
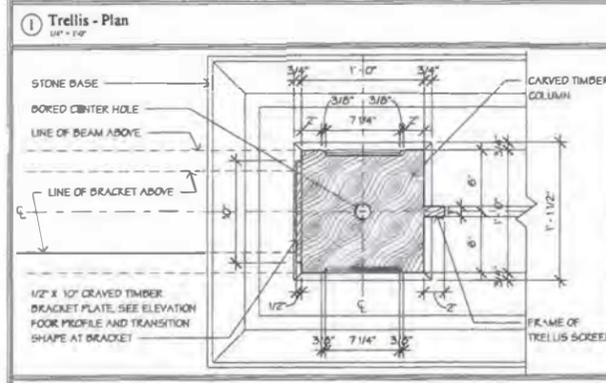
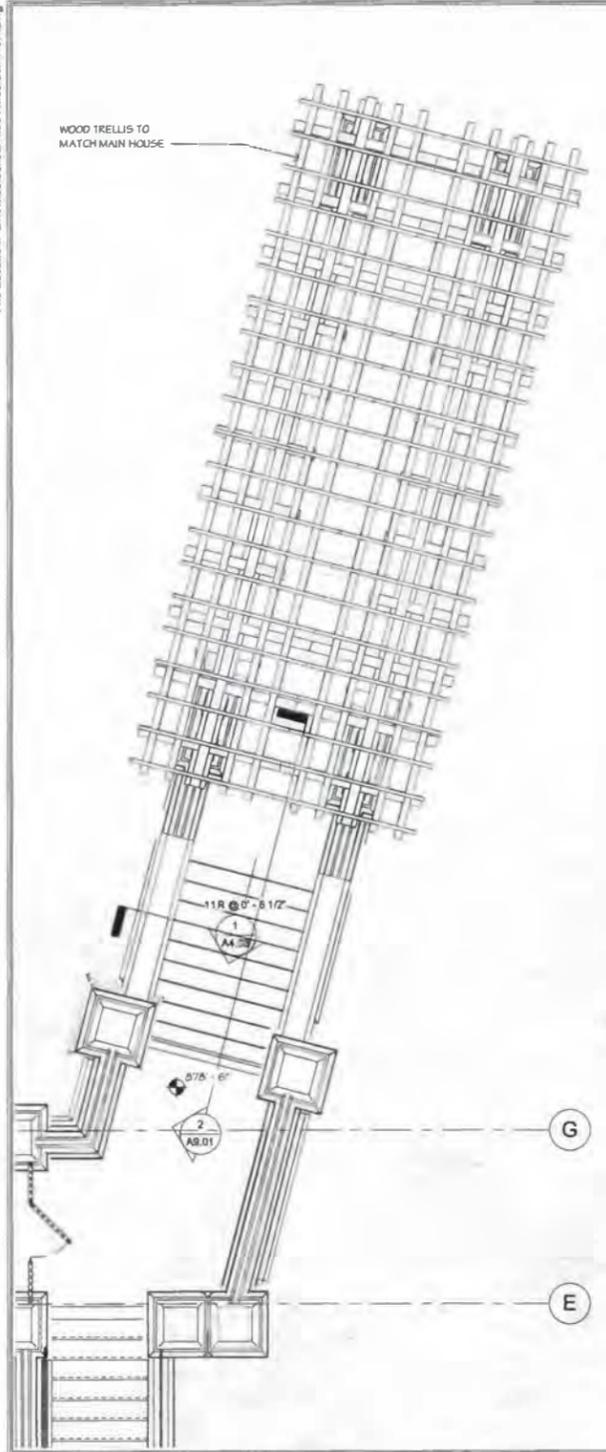
Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

General Notes:
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Registration:
Drawing Title:
Trellis Details
Drawn: L.S.
Checked: J.M.
Project Number: 93480
Date: January 3, 2020
Drawing Number:



1 Trellis - Plan
1/4" = 1'-0"

2 Trellis - Longitudinal Section
1/4" = 1'-0"

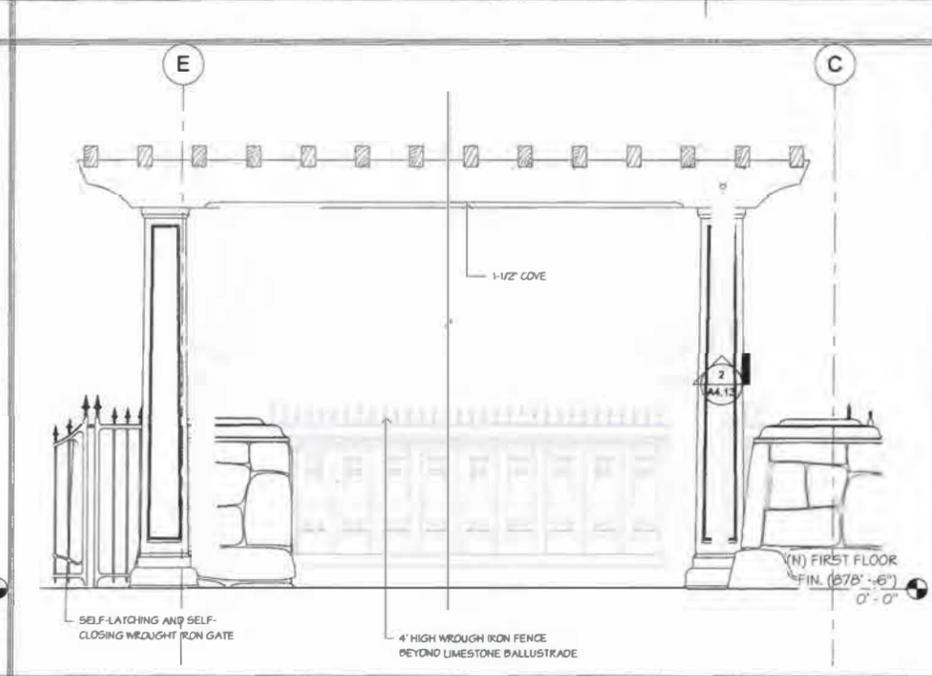
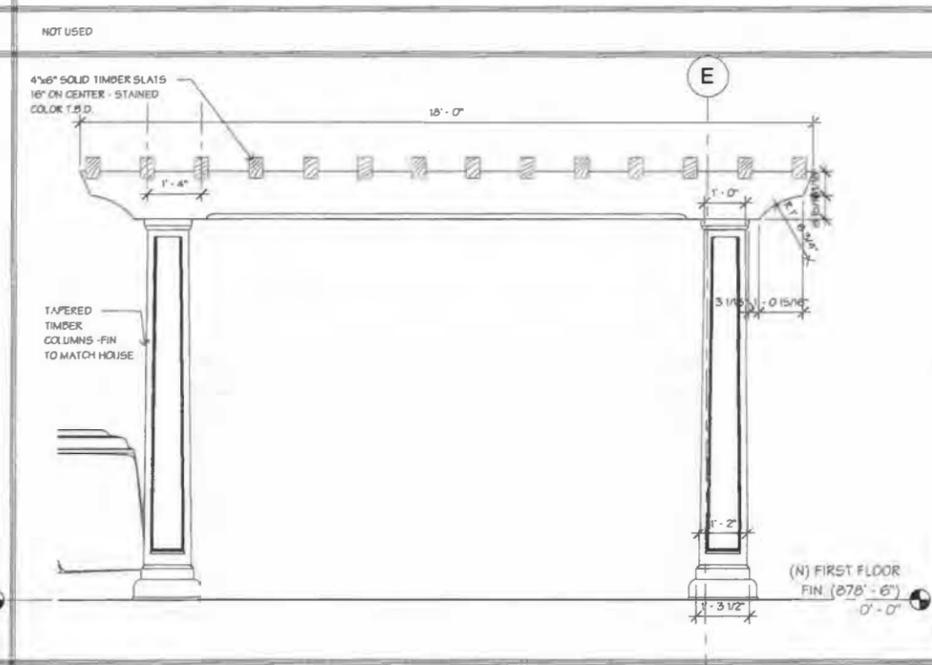
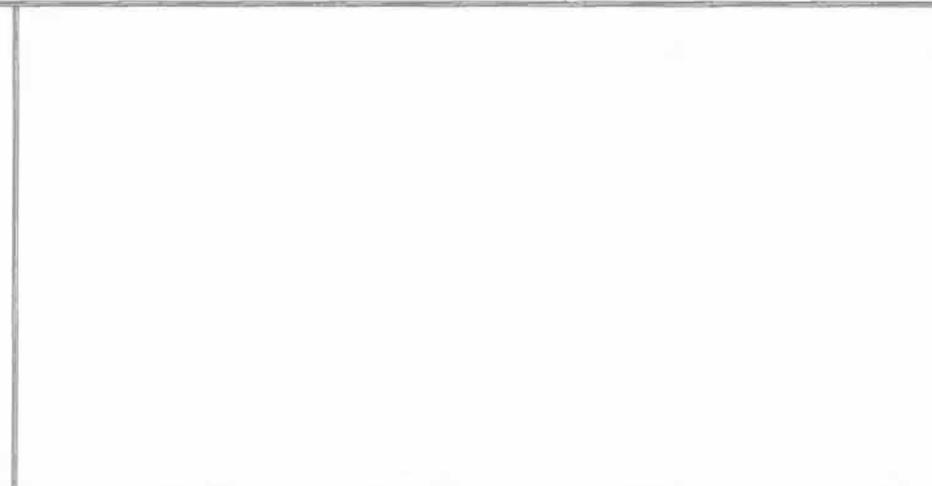
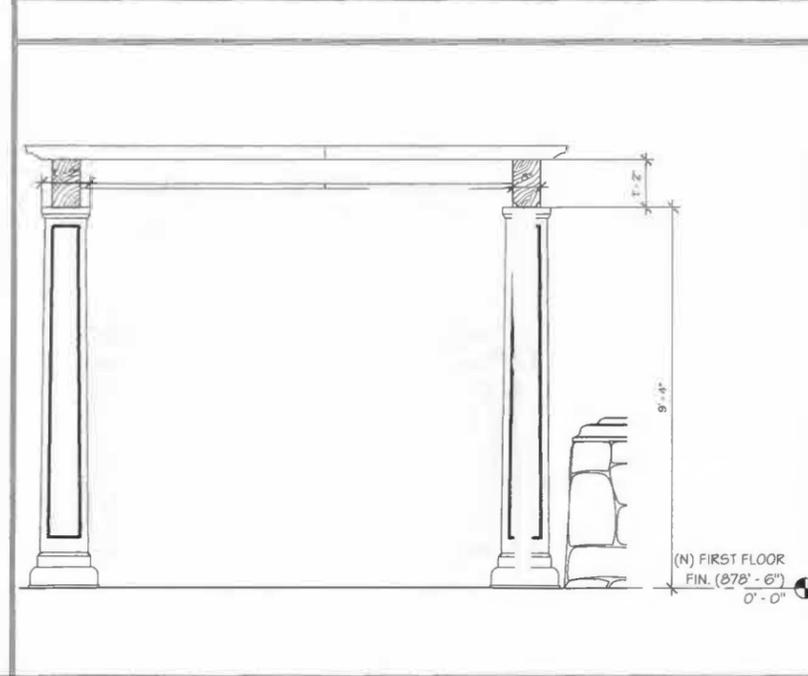
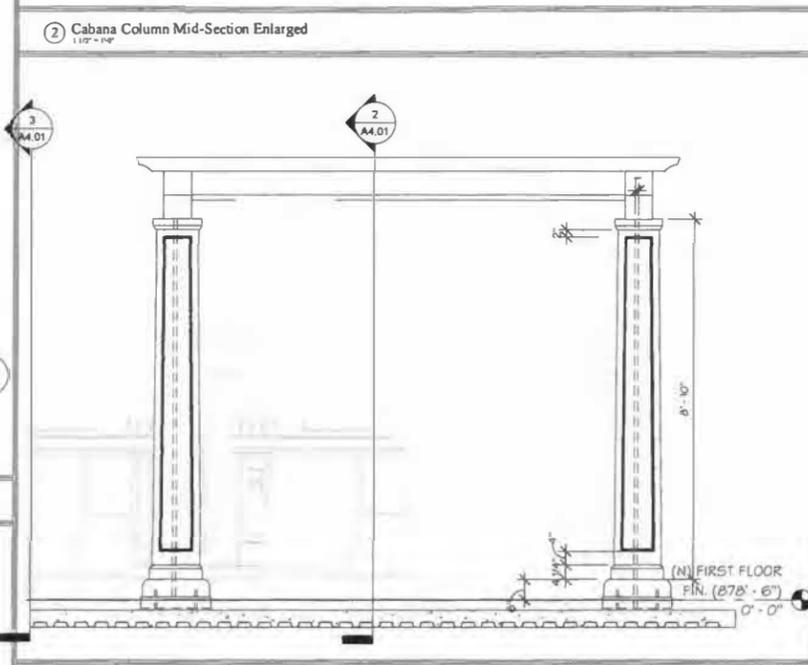
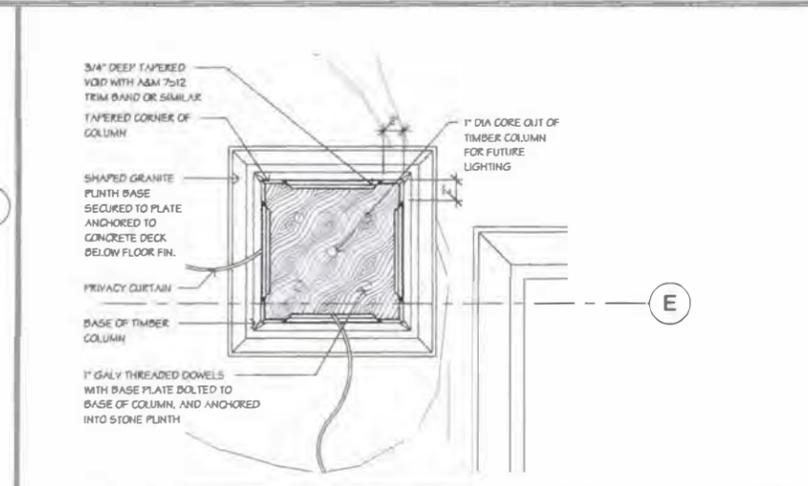
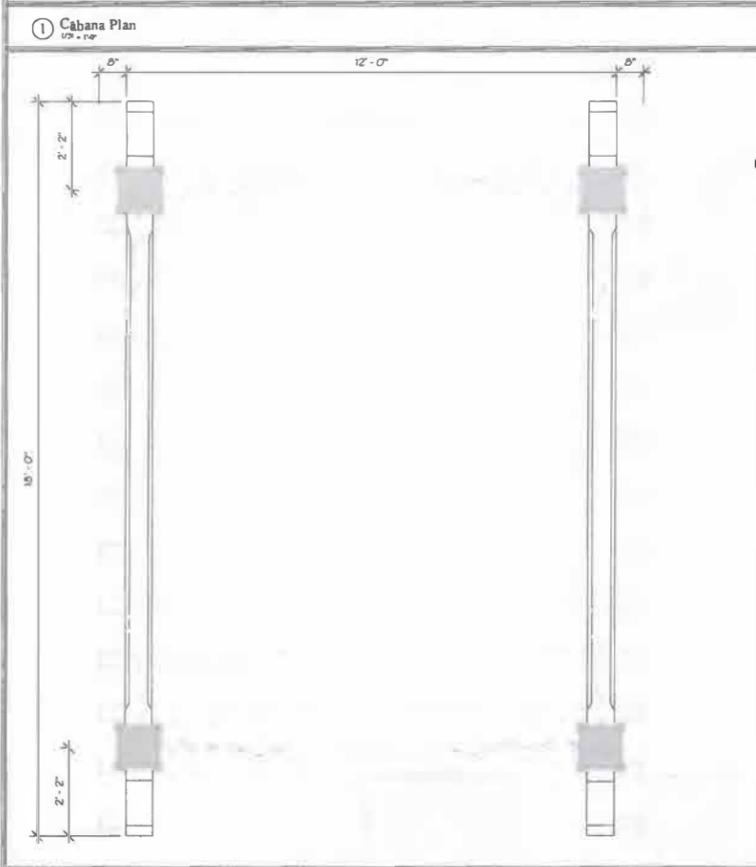
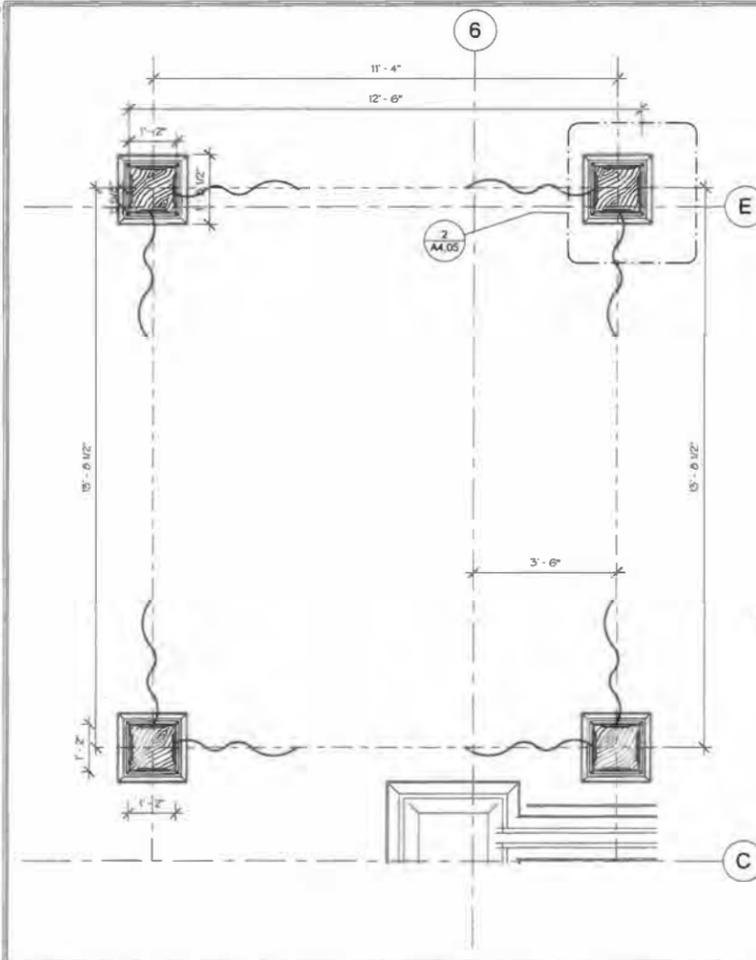
3 Trellis - Enlarged Column Pier
1 1/2" = 1'-0"

4 Trellis - Capital and Bracket Detail
1 1/2" = 1'-0"

5 Trellis - Bracket Detail
1 1/2" = 1'-0"

6 Trellis - Cross Section
1/2" = 1'-0"

File Location: L:\Tileblock\124367\Tileblock-New.dwg



Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

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Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the removal of completed work at General Contractor's cost, if a discrepancy which could have been discovered upon subcontractors to the plans.
General Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancies listed in the plans, dimensions, existing conditions or any apparent error in the drawing or specifying of a product, material or means of assembly is to be pointed out to the Architect immediately.
Drawings shall not be scaled for dimensions and/or sizes. General Contractor assumes no responsibility for use of unstated scale.
Regardless of whether or not as shown or specified, General Contractor shall provide said date if it is necessary for the proper installation or function of any item shown or specified. Suppliers and Subcontractors shall inform the General Contractor of their responsibilities for the work of other trades, which may not be indicated, prior to bidding.
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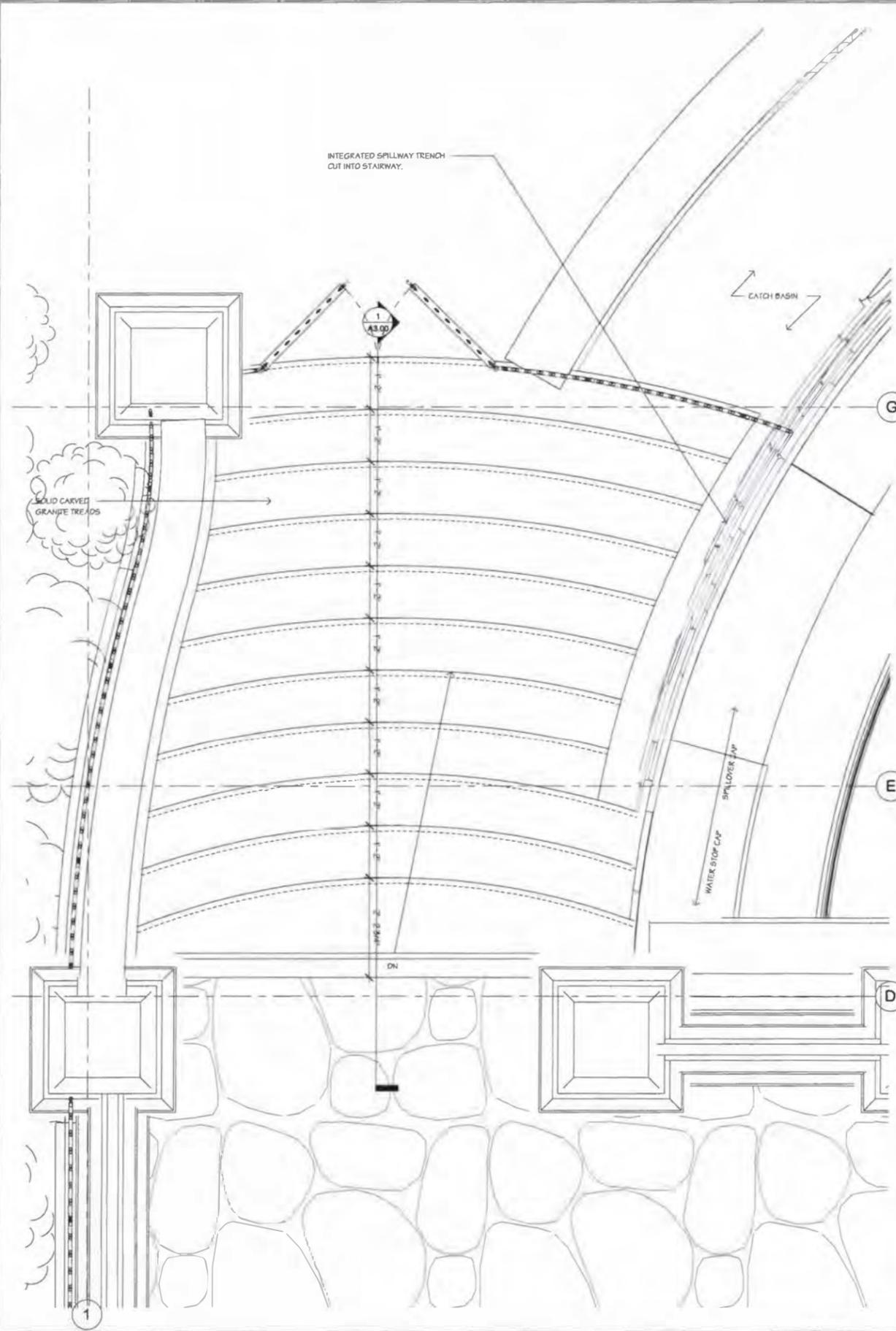


Drawing Title:
Cabana Plan and Elevations

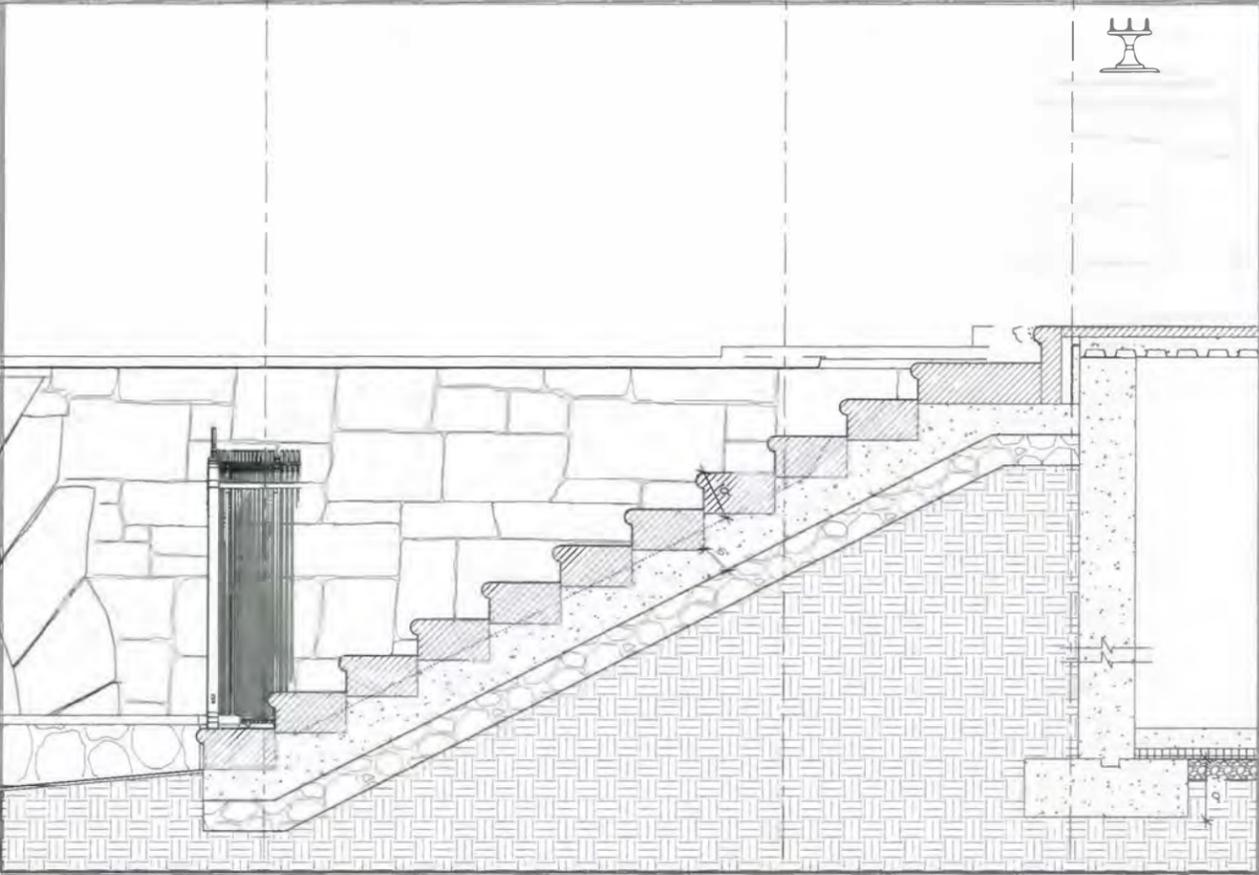
Drawn: I.S.
Checked: J.M.
Project Number: 93480
Date: January 3, 2020
Drawing Number:

A4.05

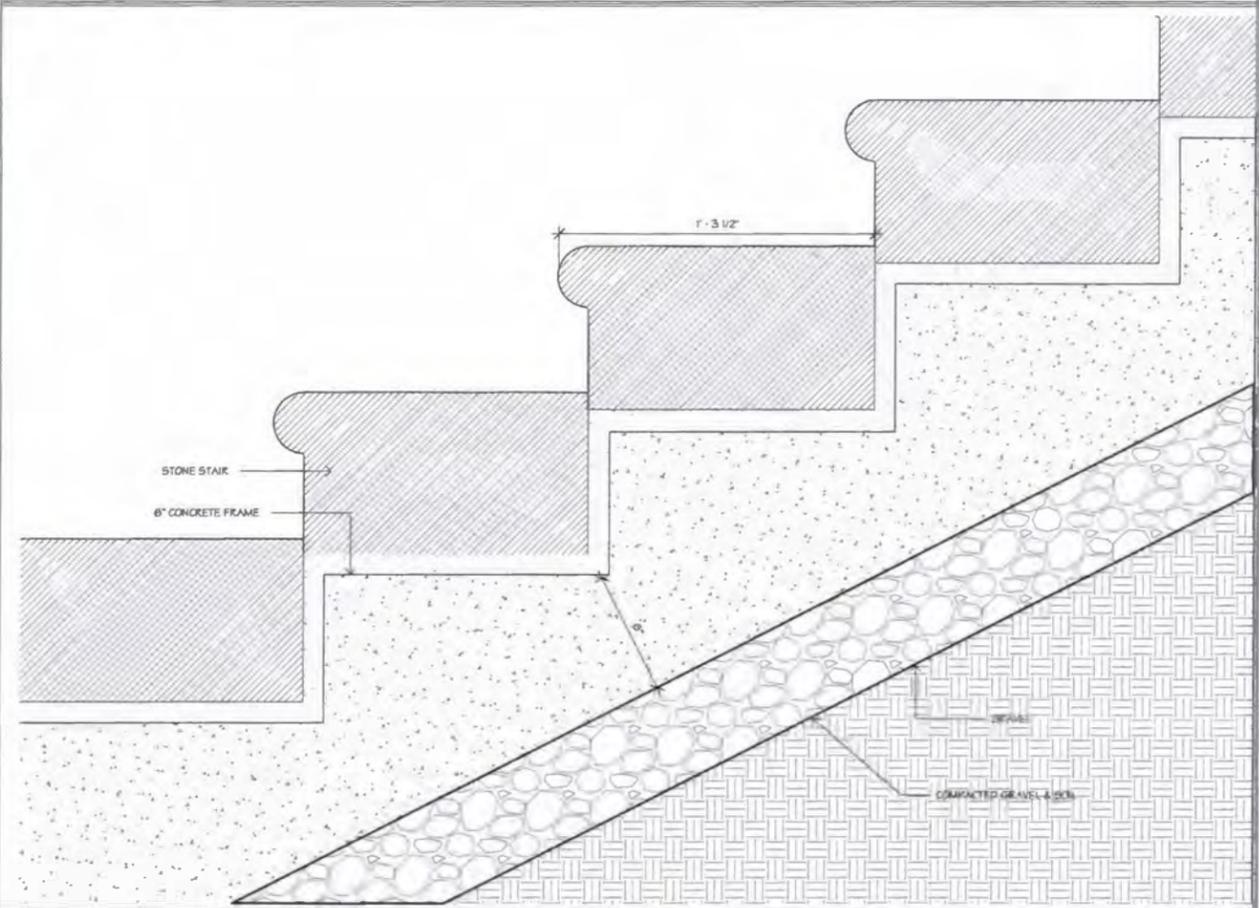
File Location: L:\Tileblock\1243161\Tileblock-New.dwg



1 Exterior Stone Stair Plan
3/4" = 1'-0"



5 Exterior Stone Stair Section
3/4" = 1'-0"



8 Exterior Stone Stair Section Detail
3/4" = 1'-0"



MEYER & MEYER
ARCHITECTS AND INTERIORS

100 WEST 42ND STREET
NEW YORK, NY 10018
TEL: 212 692 1234
WWW.MEYERMEYER.COM

Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

General Notes:
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General Contractor shall lay out in the field the entire work to verify dimensional relationships before constructing any part, and shall verify all existing conditions and locations before proceeding.
Fishes to verify dimensions and conditions before proceeding may subject the General Contractor to the required removal of completed work at General Contractor cost, if a discrepancy which could have been discovered under reasonable conditions before proceeding.
General Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the classification or execution of a subject material or assembly of materials shall be pointed out to the Architect immediately.
Drawings shall not be scaled for dimensions and/or sizes. Owner and Architect assume no responsibility for use of incorrect scale.
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Registration:

Drawing Title:
Stone Staircase

Drawn: I.S.
Checked: J.M.
Project Number: 93480
Date: January 3, 2020
Drawing Number:

A9.00

File Location: L:\Tileblock\124367\Tileblock-New.dwg

MEYER & MEYER

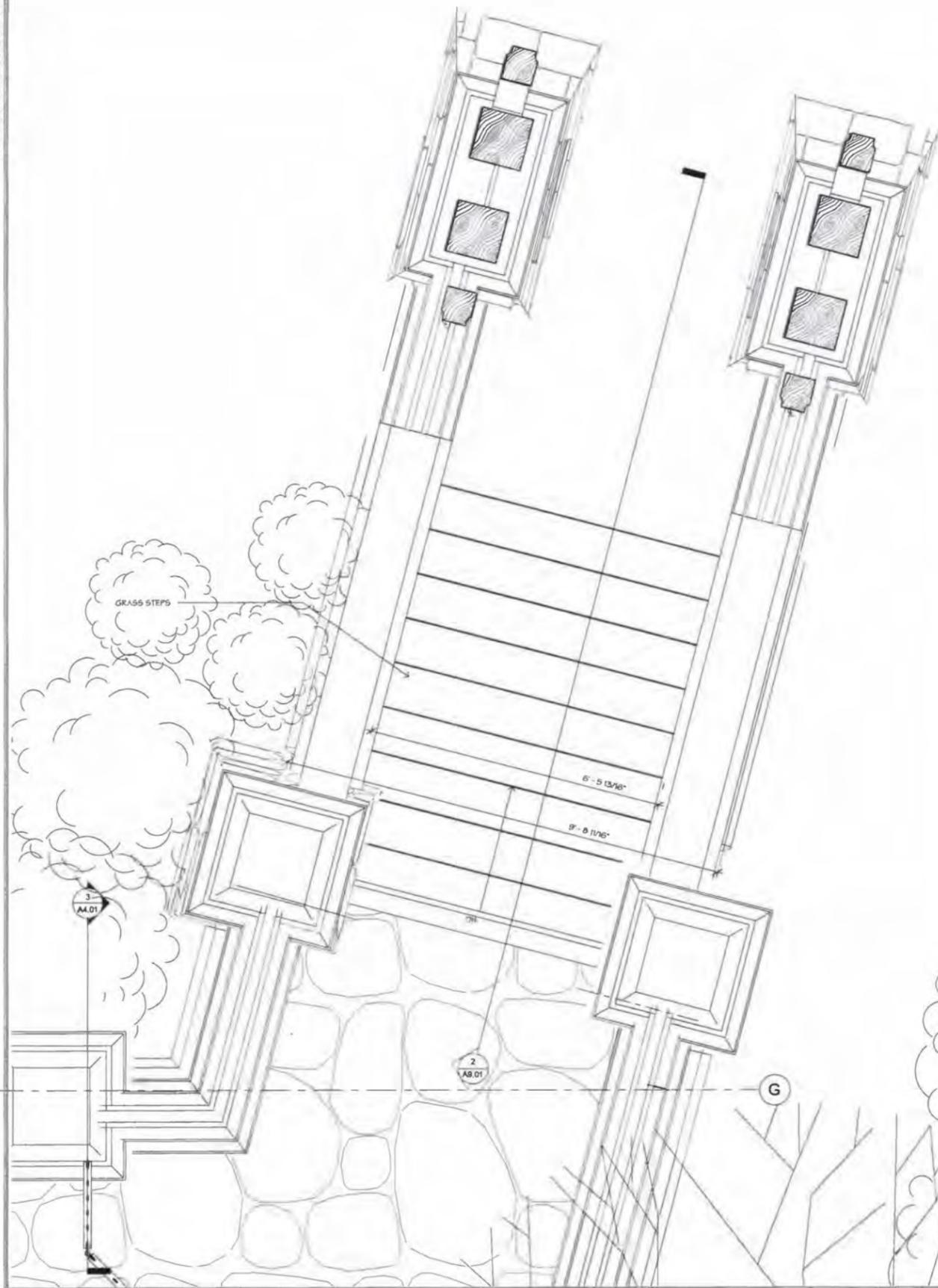
ARCHITECTURE AND INTERIORS



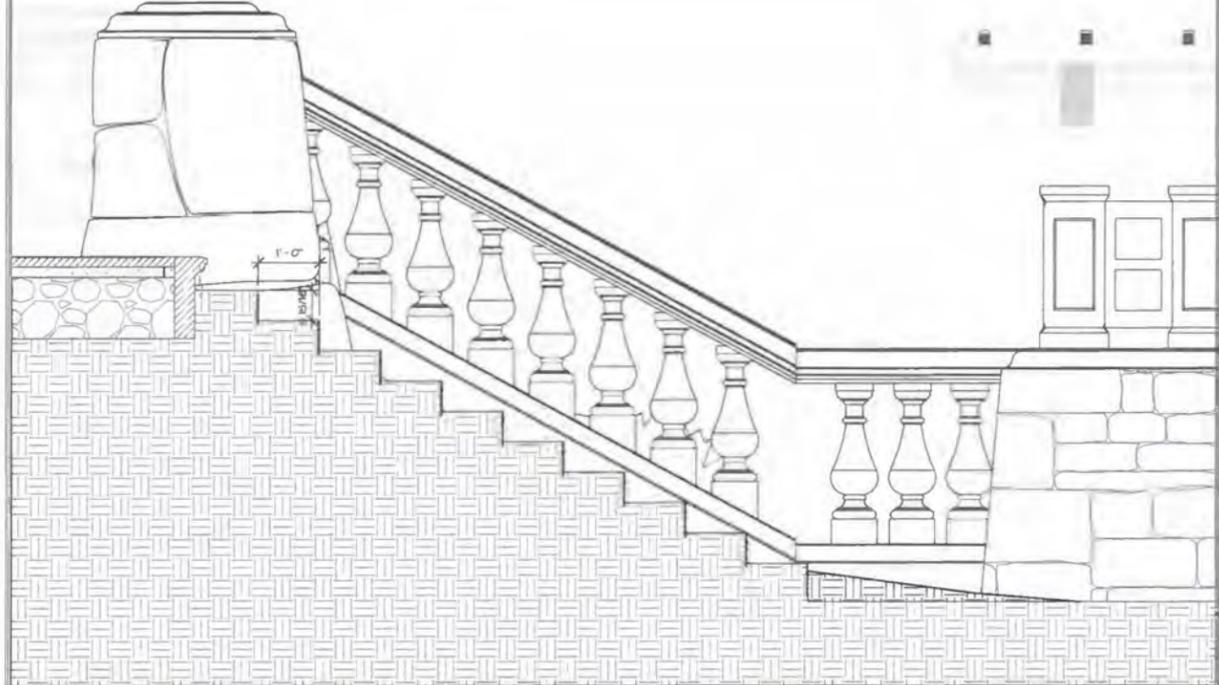
Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

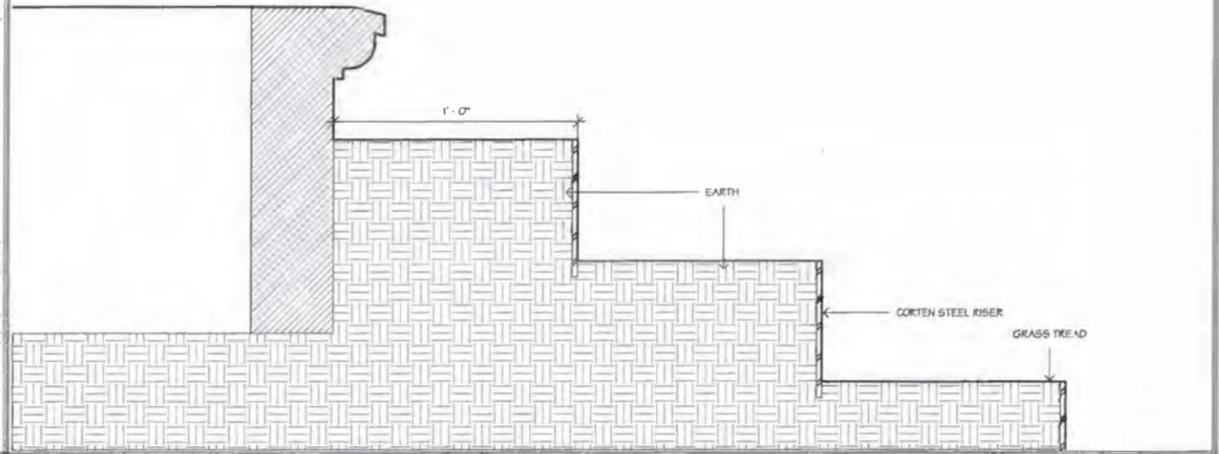
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Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the required removal of completed work at General Contractor cost, if a discrepancy which could have been discovered is made manifest in the field.
General Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancies found in the plans, dimensions, existing conditions or any approval error in the classifying or specifying of a product, material or means of assembly is to be pointed out to the Architect immediately.
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In regard to whether or not an item is shown or specified, General Contractor shall provide said item if a necessary for the proper installation or function of an item shown or specified. Suppliers and Subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.
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1 Exterior Stair Plan
3/8" = 1'-0"



2 Exterior Stair Section
3/8" = 1'-0"



3 09 Exterior Stair Section Detail
3/8" = 1'-0"

Registration:



Drawing Title:
Grass Staircase

Drawn: L.S.
Checked: J.M.
Project Number: 93480
Date: January 3, 2020
Drawing Number:

A9.01



Project:
Private Pool House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

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Failure to verify dimensions and conditions before proceeding shall subject the General Contractor to the Payment of Penalties or Remedial Work as General Contractor's cost, if a discrepancy which could have been discovered through construction is to be made.
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Drawing Title:
Perspective

Drawn: Author
Checked: Checker
Project Number: 93480
Date: January 3, 2020
Drawing Number:

AP1.00

45 WEST LAKE STREET



61 WEST LAKE STREET

MEYER & MEYER
ARCHITECTS AND INTERIORS

Project:
Private Pool
House
45 West Lake St,
Skaneateles NY

Issue Dates and Revisions:

General Notes:
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Factors to verify dimensions and conditions before proceeding may include the General Contractor to the removal of existing work of General Contractor work, if a discrepancy which could have been discovered causes modifications to the plan.
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Registration:



Drawing Title:
Perspective

Drawn: _____ Author
Checked: _____ Checker
Project Number: 93480
Date: January 3, 2020
Drawing Number:

Project:
Private Pool House
45 West Lake St,
Skanectades NY

Issue Dates and Revisions:
Permit Set January 3, 2020
Final Submission

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All dimensions to materials/finish shall be indicated on the face of wall or concrete, etc. unless noted otherwise.
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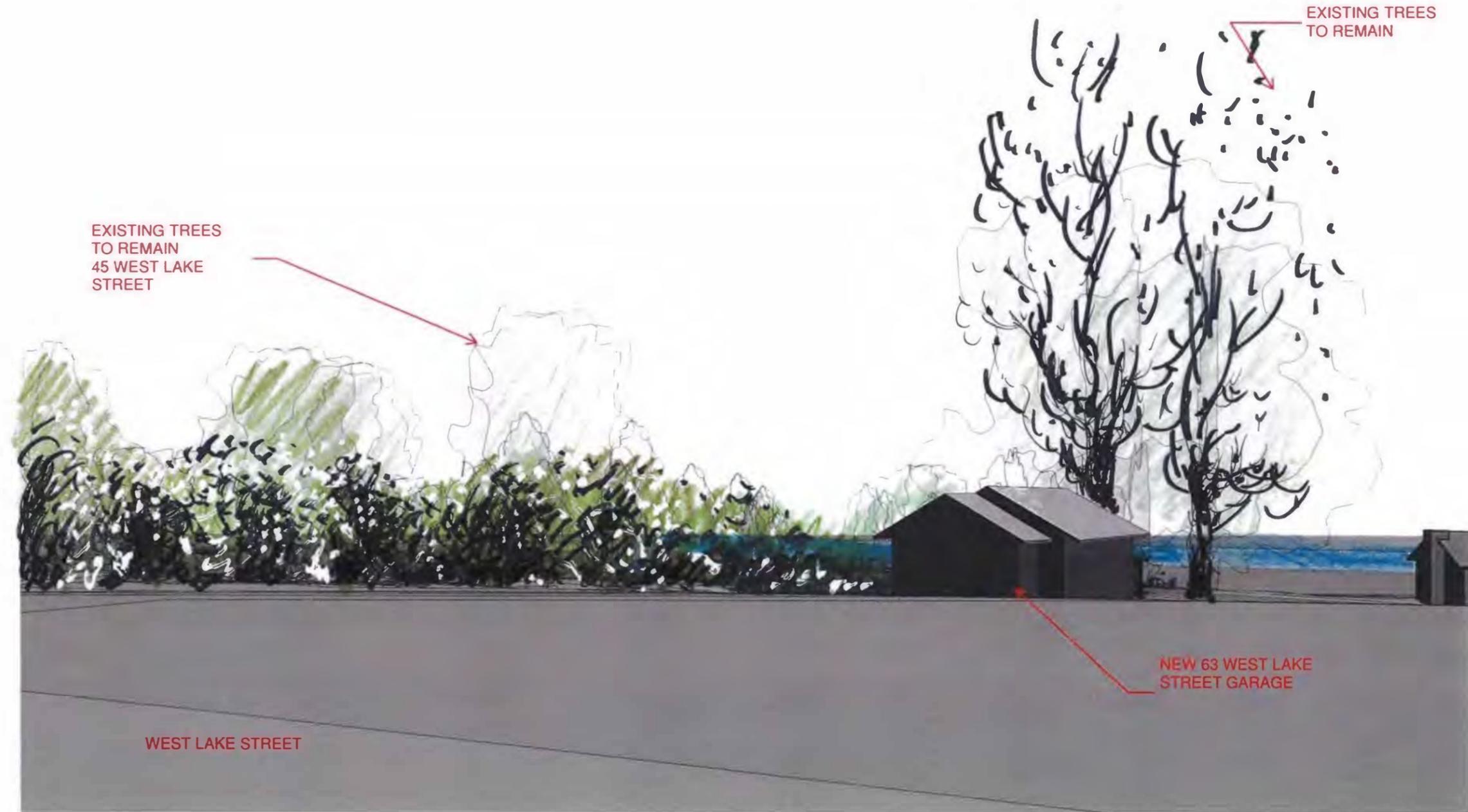
Registration:



Drawing Title:
Perspective

Drawn: *Ambro*
Checked: *Checker*
Project Number: 93480
Date: January 3, 2020
Drawing Number:

AP3.00



OK
26585
\$100
pa. 3/4/2020

RECEIVED

MAR 5 2020

VILLAGE OF SKANEATELES
26 Fennell St.
Skaneateles, NY 13152

VILLAGE OF SKANEATELES
Fax: 685-0730

Application for a Building / Zoning Permit (page 1 of 2)

Date of Application 03/02/2020 Permit Date and Number _____
Name of Applicant Jennifer Selinsky - Holbrook Heating Inc
Address of Applicant 3140 Sweet rd, Jamesville Contact # 315-677-5555 ext. 1296
Address of Work Site 19 Onondaga St, Skaneateles NY 13152
Name of Property Owner Charles Wallace
(if different from applicant)
Property owner address 19 Onondaga St Contact # 315-374-4425

TYPE OF WORK PROPOSED:

New Structure _____ Addition _____ Alteration Swimming Pool _____
Repair _____ Fence/Wall _____ Paved Surface _____ Other HVAC
Square Footage of new work _____ ESTIMATED COST 10,200.00 (\$100.00)

4/21/20
spoke with
Kamal about
meeting -
John will
be back by
Friday

Describe the work proposed: Install 2 Lennox ductless heat
Units / heat pump w/ outdoor condenser in the
back of the house

Zoning District: (circle one) A-1 A-2 A-3 A-4 B C D PL
Tax Map Number 008.-01-29.0 Square Footage of lot _____
Existing use of lot 1 Fam res Proposed use of lot SFH

STRUCTURE INFORMATION:

Single family Two Family _____ Multi-family _____ Garage _____
Commercial _____ Accessory building _____ Boat house _____ Other _____
Existing use SFH / A/C UNIT Proposed use SFH / A/C UNIT

Application for a Building / Zoning Permit (page 2 of 2)

LOT INFORMATION: Indicate in the box [] North South East West

Set Backs - Existing Structure Set Backs - Proposed Work
(Distances from structure to property or lot lines)

[] Front Yard _____ ft. Front Yard _____ ft.
[] Left Side Yard _____ ft. Left Side Yard 8' ft.
 Right Side Yard _____ ft. Right Side Yard _____ ft.
[] Rear Yard _____ ft. Rear Yard _____ ft.

New connection for: Sewer Electric Service _____ Storm Sewer _____

Does the proposed work/structure comply with the Energy Conservation Construction Code?
(Yes, No, N/A)

Architect's Name: _____

Architect's Address: _____

Contractor/Builders Name: Holbrook Heating Inc Contact#: 315-677-5055

Contractor's Address: 3140 Shatt rd, Jamesville NY 13078

The applicant declares that the information contained in this application, and the plans, specifications and other supporting materials submitted in support of this application is true and has made such representations to induce the Village of Skaneateles to issue a Building/Zoning permit and the applicant will comply with all laws, codes and ordinances controlling this work.

DATE: 03/03/2020 SIGNATURE: Jennifer Stinsky

Print Applicants Name: Jennifer Stinsky

Affidavit of Owner or Applicant

(To be completed if application is not made by the property owner)

STATE OF NEW YORK)
) SS:
COUNTY OF ONONDAGA)

On this 3 day of MARCH, 2020.
personally appeared before me.

Arlene M Hayter

NOTARY PUBLIC

Arlene M. Hayter
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01HA4880017
Qualified in Onondaga County
Commission Expires December 15, 2022

RECEIVED

MAR 3 2020

VILLAGE OF SKANEATELES

VILLAGE OF SKANEATELES

26 Fennell St.

Skaneateles, NY 13152

Ph: 685-2118

Fax: 685-0730

Building / Zoning Application Review Sheet

Date Received 3/2/2020 Tax Map Number 008-01-29.0
Applicant's Name HOLBROOK HEATING
Address of Work Site 19 ORONDAGA ST.
Permit Fee Date Received Amount Received 100.00
Energy Code Compliance N/A
Additional Info. Requested
Date Review Completed 3/24/2020 Signature

RECEIVED

MAR 2020

VILLAGE OF SKANEATELES

Application Status Approved (X) Denied

Reasons Denial - Does not comply with the following:

Section 225-A5, Density Control Schedule for:

- Front yard set-back Side yard set-back, left (X) Side yard set-back, right
Rear yard set-back Percentage of open area Both side yards combined
Percentage of structure width / lot width

Other Density Control Schedule

- Section 225-69D, Non-conforming Buildings, Structures and Uses, Extension or Expansion
Section 225-14(d), Swimming Pools, 25 ft. distance to lot lines
Section 225-14C (5) (a/b), Accessory Buildings, distance to lot lines or structures
Section 225-A1-3, Permitted Use Chart
Other Sections of the Zoning Law

And / Or Needs:

- Certificate of Approval from the Historical Landmarks Preservation Commission, Section 225-25
Critical Impact Permit, per Section 225-52, form Board of Trustees
Special Use Permit from the Zoning Board of Appeals

Permit Number Date of Issue
Planning Board Review Zoning Board of Appeals Approval
Critical Impact Permit Approval N/A Historic Commission Approval N/A #

Ord. CK # 26601
100.00
2.30 FEE
3/16/20.

ZONING BOARD OF APPEALS
Village of Skaneateles
26 Fennell Street
Skaneateles, NY 13152

315-685-2118

Fax 315-685-0730

.....
(1) NOTICE OF APPEAL (2) APPLICATION FOR SPECIAL USE PERMIT
.....

Date of Application 03/10/2020

To the Zoning Board of Appeals of the Village of Skaneateles, Onondaga County, New York

I/we Jennifer Stinsky (Holbrook) + Charles Wallace (Hamacher)
Printed or Typed Name of Appellant(s) and/or Applicant(s)

Address 19 Onondaga St, Skaneateles NY 13152

(1) I hereby appeal the decision of the Village Code Enforcement Officer (Building Inspector)

which was denial of a Zoning Permit

which was denial of a Certificate of Occupancy

to vary the strict application of the provisions of:

Article _____ Section 225 Subsection A5

Article _____ Section 225 Subsection _____

Article _____ Section 225 Subsection _____

(2) I hereby apply for: (check all applicable)

A SPECIAL USE PERMIT required by the provisions of Article III, Section 225-10
B (1) & Section 225-11 B (2)

A FLOODWAY PERMIT required by the provisions of Article III, Section 225-10
B (3) & Article VI, Section 225-18 B

.....
This appeal or application relates to:

19 Street Number Onondaga St Street Name

Tax Map Number 008. -01-29.0

ZONING BOARD OF APPEALS
Village of Skaneateles
26 Fennell Street
Skaneateles, NY 13152

315-685-2118

Fax 315-685-0730

The applicant shall use this sheet to state the Zoning Board of Appeals details of the variances requested.

Zoning District of the lot A-2

Column

- #1 From the Density Control Schedule (Section 225-A5) fill in the minimum requirements for said lot in your Zoning District
- #2 Indicate the existing set-back dimensions, percentages, that are not-conforming with the figures in column #1, and that will not be changed by the proposed construction
- #3 Indicate the dimensions, area (in square feet) and percentages that will result from your proposed construction
- #4 Indicate the variance requested (subtract #3 from #1)

Columns →	#1	#2	#3	#4
Open Area (sq. ft.) as a % of lot area				
Front yard dimension (ft.)				
Left side yard dimension (ft.)				
Right side yard dimension (ft.)	15'		8'	-7'
Both side yards combined (ft.)				
Rear yard dimension (ft.)				
Max. width of structure as a % of lot width (Structure width divided by lot width)				
Min. livable floor area, each dwelling				

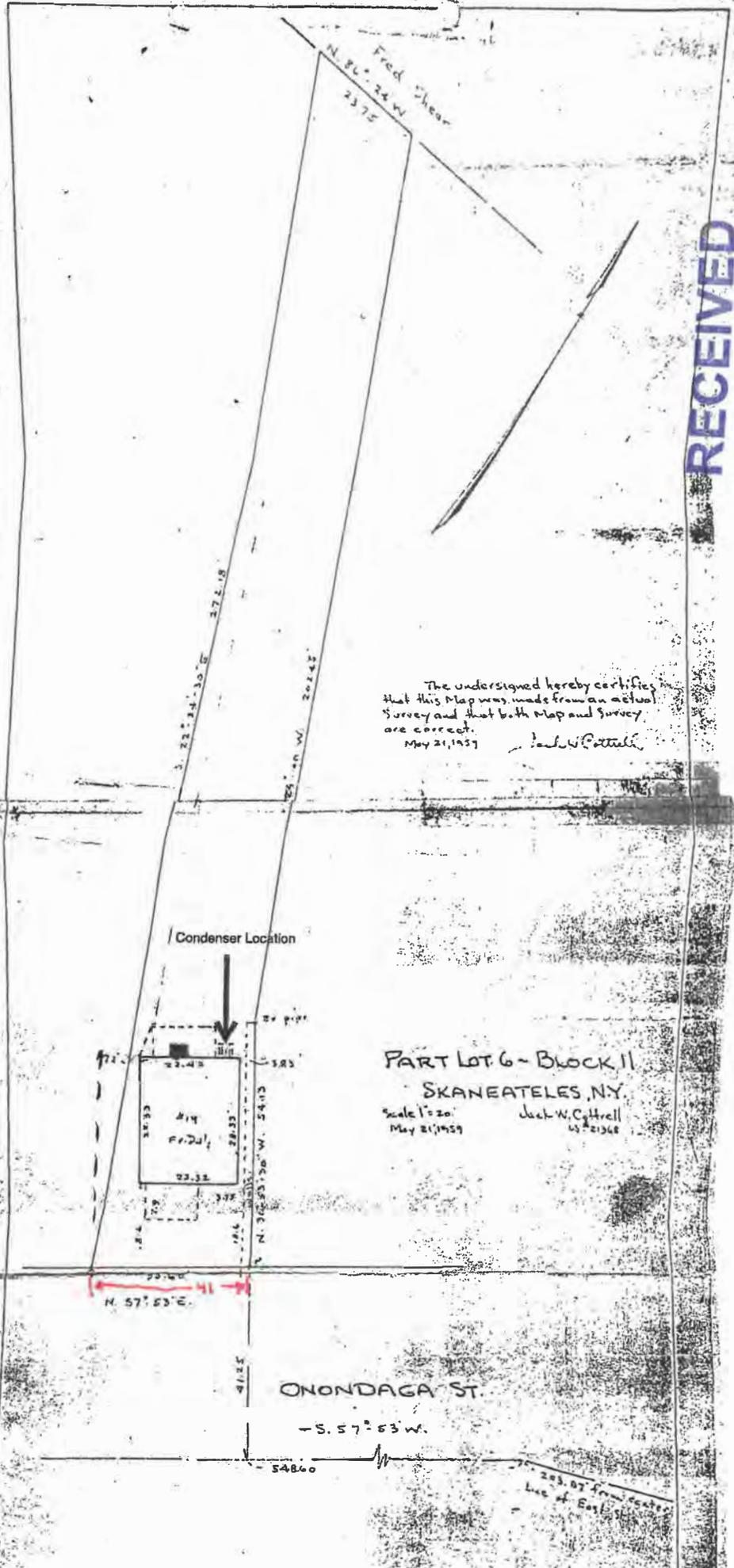
List below any OTHER variances, Special Permits requested
 (Section of the Zoning Law) (Description)

Please state below all reasons to support your appeal or application. Attach other sheets as needed to support your appeal/application

We are placing the condenser outside of the 15'
clearance however Mr. Wallace does own the property
next to him. as well, so it really has no effect on any 3rd parties

Dated 03/10/2020

Jennifer Schinsky
 Signature of Applicant/Appellant



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MAR 20 2020

VILLAGE OF SKANEATELES

The undersigned hereby certifies that this Map was made from an actual Survey and that both Map and Survey are correct.
 May 21, 1959
 Jack W. Cottrell

Condenser Location

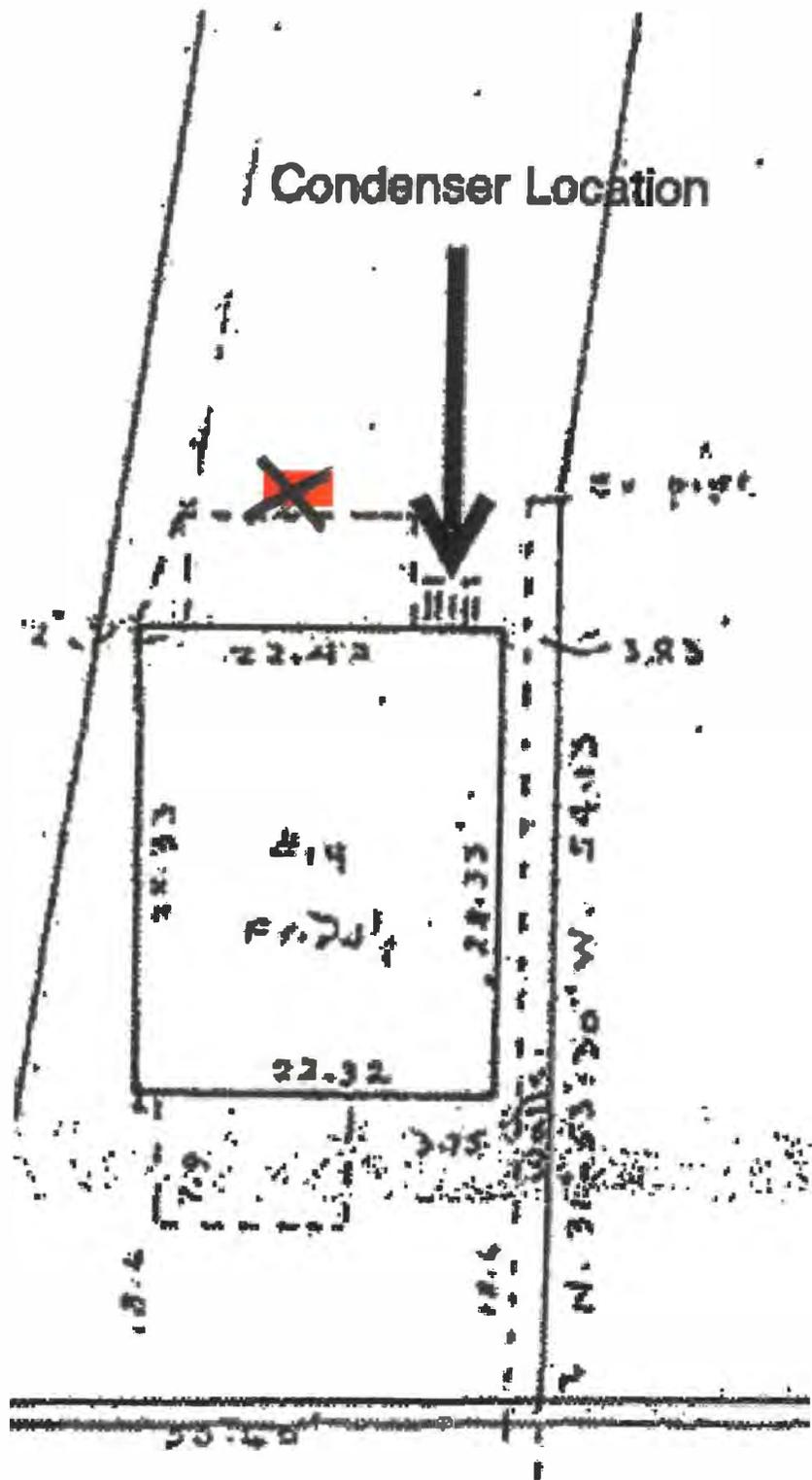


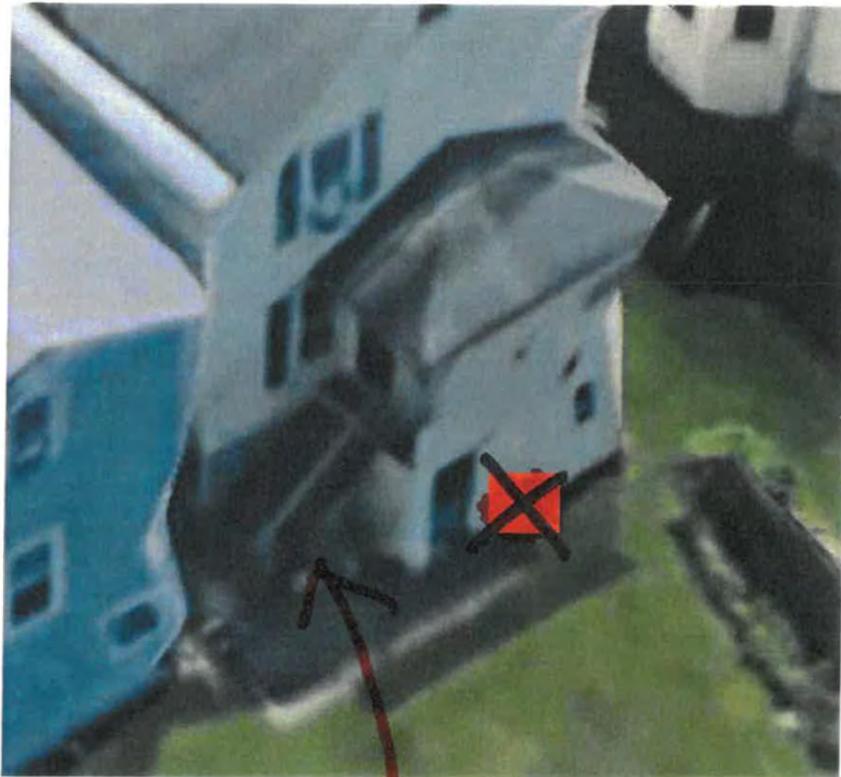
PART LOT 6 - BLOCK 11
 SKANEATELES, N.Y.
 Scale 1" = 20'
 May 21, 1959
 Jack W. Cottrell
 45-21568

ONONDAGA ST.
 - S. 57° 53' W.
 548.60

283.87 from center
 Line of East

Condenser Location





UNDER
THE
STAIRS

CHK# 125
\$ 250.00
pd. 3/10/2020

VILLAGE OF SKANEATELES

26 Fennell St

Skaneateles, NY 13152

315-685-2118

Fax: 315-685-0730

Email: codes@villageofskaneateles.com

11/16jc

Application for a Building/Zoning Permit (page 1 of 2)

Date of Application MAR 11, 2020 Permit Date and Number _____

Name of Applicant ANNA NELSON

Address of Applicant 43C JORDAN ST. SKANEATELES, NY 13152

Applicant's Email ANNELSON@ROADRUNNER.COM Contact # _____

Address of worksite 15 ORCHARD RD

Name of Property Owner (if different from applicant) SAME

Property Owner Address _____

Property Owner Email _____ Contact # _____

Type of Work Proposed:

New Structure Addition Alteration Swimming Pool Repair

Fence/Wall Paved Surface Other

Square Footage of new work 14 SF PATIO 200 SF ADDITION Accurate Project Cost _____

Describe the work proposed: REMOVE BACK PORCH, 20'x10' 1STORY ADDITION FOR BREAKFAST & HALL ROOM, 5'x3' STOOP.

12'x12' PATIO, WALKWAYS - /install new A/C pad

Zoning District (circle one): A-1 A-2 A-3 A-4 B C D PL

Tax Map Number 006-01-10.0 Square Footage of Lot 8040

Existing use of lot RESIDENTIAL Proposed use of lot RESIDENTIAL

STRUCTURE INFORMATION:

Single Family X Two Family _____ Multi-Family _____ Garage _____ Commercial _____

Accessory Building Boat House Other

Existing Use SINGLE FAMILY Proposed Use SINGLE FAMILY

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MAR 12 2020

VILLAGE OF SKANEATELES

VILLAGE OF SKANEATELES

26 Fennell St

Skaneateles, NY 13152

315-685-2118

Email: codes@villageofskaneateles.com

Fax: 315-685-0730

Application for a Building/Zoning Permit (page 2 of 2)

LOT INFORMATION:

Indicate in box [] North South East West

Setbacks - Existing Structure

(Distances from structure to property or lot lines)

Setbacks - Proposed work

[E] Front Yard 30 ft.

Front Yard 30 ft.

[S] Left Side Yard 13.1 ft.

Left Side Yard 14.8 ft. NEW

[N] Right Side Yard 13.0 ft.

Right Side Yard 25.1 ft. NEW

[W] Rear Yard 69.9 ft.

Rear Yard 43.1' ft.

New connection for: (Yes/No) Sewer NO Electric Service NO Storm Sewer NO

Does the proposed work/structure comply with the Energy Conservation Construction Code? (Yes, No, N/A)

Architect's Name EGGLESTON & KREUZER ARCHITECTS PC

Architect's Address 1391 EGGENSEE ST. SKANEATELES, NY 13152

Contractor/Builder Name ANNA NELSON

Contractor's Phone # 315.751.2426

Contractor's Address 430 JORDAN ST, SKANEATELES, NY 13152

Contractor's Email ANNELSON@ROADRUNNER.COM

The applicant declares that the information contained in this application, and the plans, specifications and other supporting materials submitted in support of this application is true and has made such representations to induce the Village of Skaneateles to issue a Building/Zoning Permit and the applicant will comply with all laws, codes and ordinances controlling this work.

Date MAR 11, 2020 Signature Anna C Nelson

Print Applicant's Name ANNA C NELSON

Affidavit of Owner or Applicant

(To be completed if application is not made by the property owner)

STATE OF NEW YORK)
) SS:
COUNTY OF ONONDAGA)

On this _____ day of _____, 20____;

personally appeared before me.

NOTARY PUBLIC

RECEIVED

MAR 12 2020

VILLAGE OF SKANEATELES

VILLAGE OF SKANEATELES

26 Fennell St

Skaneateles, NY 13152

315-685-2118

Fax: 315-685-0730

Email: codes@villageofskaneateles.com

Building/Zoning Application Review Sheet

Date Received 3/12/20 Tax Map Number 006-01-19.0

Applicant's Name ANNA NELSON

Address of Worksite 15 ORCHARD ROAD

Permit Fee Date Received Amount Received

Additional Info. Requested

Date Review Completed 3/24/19 Signature [Signature]

Application Status: Approved Denied

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MAR 12 2020

VILLAGE OF SKANEATELES

Reasons for Denial - Does not comply with the following:

Section 225-A5, Density Control Schedule for:

- Front Yard Setback, Side Yard Setback, left, Side Yard Setback, Right, Rear Yard Setback, Percentage of Open Area, Both Side Yards Combined, Percentage of Structure width/lot width

Other Density Control Schedule MIN. LIVABLE AREA

- Section 225-69D, Non-conforming Buildings, Structures and Uses, Extension or Expansion, Section 225-14(d), Swimming Pools, 25 ft. distance to lot lines, Section 225-14C (5) (a/b), Accessory Buildings, distance to lot lines or structures, Section 225-A1-3, Permitted Use Chart, Other Sections of the Zoning Law

- And/or Needs: Certificate of Approval from the Historical Landmarks Preservation Commission, Section 225-25, Critical Impact Permit, per Section 225-52, form Board of Trustees, Special Use Permit from the Zoning Board of Appeals

Permit Number, Date Issue, Planning Board Review, Zoning Board of Appeals Approval, Critical Impact Permit Approval, Historical Commission Approval

ZONING BOARD OF APPEALS
Village of Skaneateles
26 Fennell Street
Skaneateles, NY 13152

315-685-2118

Fax 315-685-0730

(1) NOTICE OF APPEAL

(2) APPLICATION FOR SPECIAL USE PERMIT

Date of Application MAR 11, 2020

To the Zoning Board of Appeals of the Village of Skaneateles, Onondaga County, New York

I/We ANNA NELSON
Printed or Typed Name of Appellant(s) and/or Applicant(s)

Address 43C JORDAN ST. SKANEATELES, NY 13152

(1) I hereby appeal the decision of the Village Code Enforcement Officer (Building Inspector)

which was denial of a Zoning Permit

which was denial of a Certificate of Occupancy

to vary the strict application of the provisions of:

Article _____ Section 225 Subsection A5

Article XIV Section 225 Subsection 69D

Article _____ Section 225 Subsection _____



(2) I hereby apply for: (check all applicable)

A SPECIAL USE PERMIT required by the provisions of Article III, Section 225-10

B (1) & Section 225-11 B (2)

A FLOODWAY PERMIT required by the provisions of Article III, Section 225-10

B (3) & Article VI, Section 225-18 B

This appeal or application relates to:

15 Street Number ORCHARD RD Street Name

Tax Map Number 006-01-107.0

ZONING BOARD OF APPEALS
 Village of Skaneateles
 26 Fennell Street
 Skaneateles, NY 13152

315-685-2118

Fax 315-685-0730

The applicant shall use this sheet to state the Zoning Board of Appeals details of the variances requested.

Zoning District of the lot A12

Column

- #1 From the Density Control Schedule (Section 225-A5) fill in the minimum requirements for said lot in your Zoning District
- #2 Indicate the existing set-back dimensions, percentages, that are not-conforming with the figures in column #1, and that will not be changed by the proposed construction
- #3 Indicate the dimensions, area (in square feet) and percentages that will result from your proposed construction
- #4 Indicate the variance requested (subtract #3 from #1)

Columns →	#1	#2	#3	#4	
Open Area (sq. ft.) as a % of lot area	85%	80.4%	76.6%	71.0	EX PROP
Front yard dimension (ft.)	30'	—	30	—	
Left side yard dimension (ft.)	15'	13.1	14.8	1.0	EX ADDITION
Right side yard dimension (ft.)	15'	13.6	25.1	1.4	EX ONLY
Both side yards combined (ft.)	35'	26.7	39.9	8.3	EX ADDITION
Rear yard dimension (ft.)	35'	—	43.1'	—	
Max. width of structure as a % of lot width (Structure width divided by lot width)	65%	—	53.3%	—	
Min. livable floor area, each dwelling	1200 SF	981 SF	1125 SF	219	EXIST PROP

List below any OTHER variances, Special Permits requested
 (Section of the Zoning Law) (Description)

225-100D EXPANSION OF NONCONFORMING STRUCTURES

RIGHT SIDE, LEFT SIDE, BOBNSIDES, %OPENAREA, %

Please state below all reasons to support your appeal or application. Attach other sheets as needed to support your appeal/application

SIDE YARDS ARE NOW NON-CONFORMING THAN EXIST. HOUSE IS SMALLER SF THAN REQ'D & ADDITION WILL MAKE IT LESS NON-CONFORMING. FC IS CONSISTENT WITH OTHER SMALL LOTS IN A12 DISTRICT & ONLY 3.8% INCREASE WHICH IS HALF FINED UP WITH PATIO. 2ND FLOOR ADDITION NOT PRACTICAL FOR 200SF ADDITION AN AN EQUAL ACCESS LIVING REQUIREMENT

Dated MAR 11, 2020

Anna C Nelson
 Signature of Applicant/Appellant

RECEIVED

MAR 12 2020

VILLAGE OF SKANEATELES

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

RECEIVED

Part 1 – Project and Sponsor Information			
Name of Action or Project:		MAR 1 9	
Project Location (describe, and attach a location map):			
15 ORCHARD RD, WEST SIDE, NORTH AFB OF EG HAVEN \$5			
Brief Description of Proposed Action:			
CONSTRUCT 10' x 20' 1ST FLOOR ADDITION TO RESIDENCE 5' x 3' STOOP, 12' x 12' PATIO			
Name of Applicant or Sponsor:		Telephone: 315-751-2426	
ANNA NELSON		E-Mail: ANNELSON@ROADWORKER.COM	
Address:			
43C JORDAN ST			
City/PO:		State:	Zip Code:
SKANEATELES		NY	13152
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			YES
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO
If Yes, list agency(s) name and permit or approval:			YES
BUILDING PERMIT - VILLAGE OF SKANEATELES			NO
3. a. Total acreage of the site of the proposed action?			YES
b. Total acreage to be physically disturbed?			NO
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			YES
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline	<input type="checkbox"/> Forest	<input type="checkbox"/> Agricultural/grasslands
<input type="checkbox"/> Wetland	<input type="checkbox"/> Urban	<input checked="" type="checkbox"/> Suburban
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>

I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <u>ANNA NELSON</u>	Date: <u>MAR 11, 2019</u>	
Signature: <u>Anna C Nelson</u>	Title: <u>OWNER</u>	

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MAR 12 2020

PRINT FORM

VILLAGE OF SKANEATELE

Page 3 of 9



NELSON - 15 ORCHARD ROAD





S 07°00'00" W 60.00'

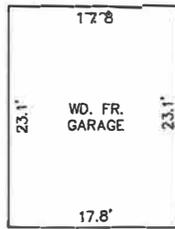
134.00'

S 85°15'20" E

LOT 23

LOT 24

LOT 25

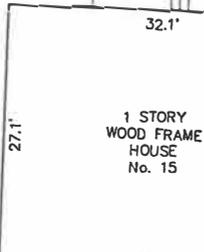


DRIVEWAY

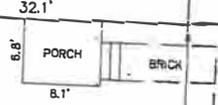
CHAIN-LINK FENCE

134.00'

N 85°15'20" W



1 STORY
WOOD FRAME
HOUSE
No. 15



BRICK

36.9'

36.8'

ASPHALT

N 07°00'00" E

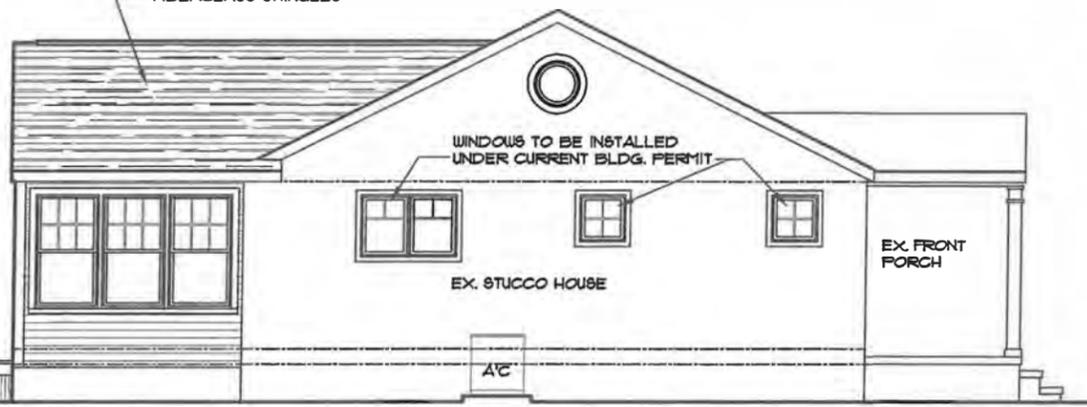
60.00'

STREET LINE

ORCHARD ROAD

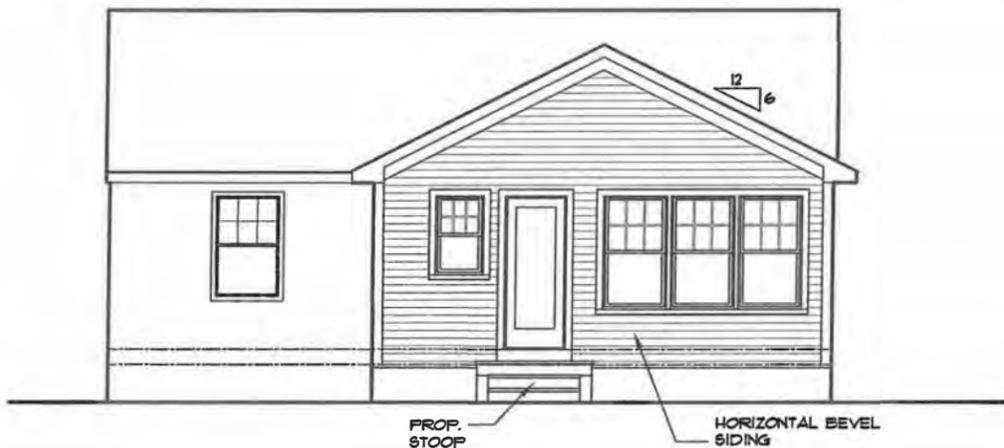
← 120' TO NORTH LINE OF HIGHLAND ST.

ARCHITECTURAL
FIBERGLASS SHINGLES



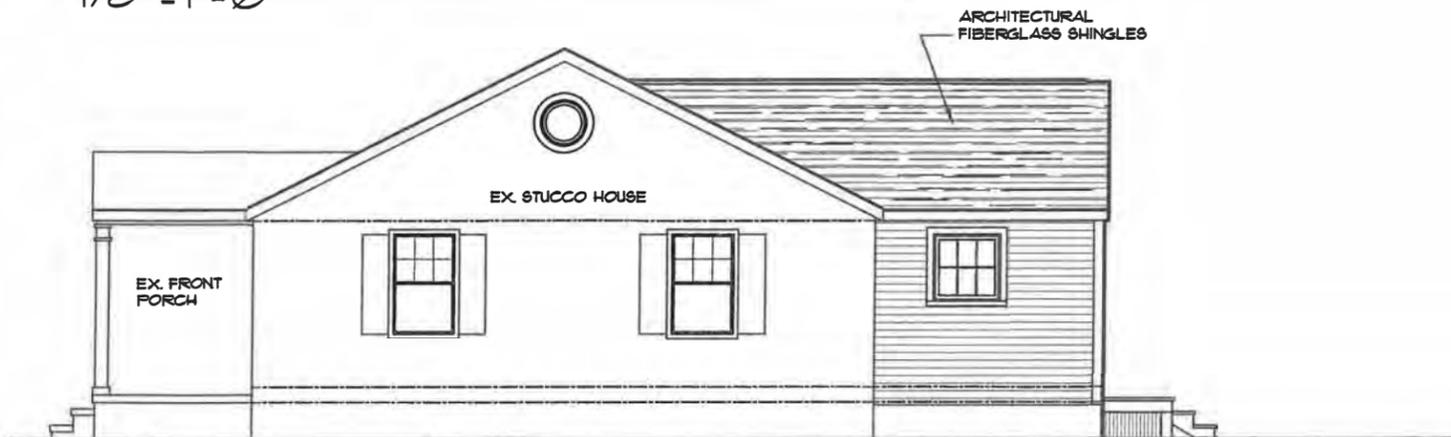
SOUTH ELEVATION

1/8" = 1'-0"



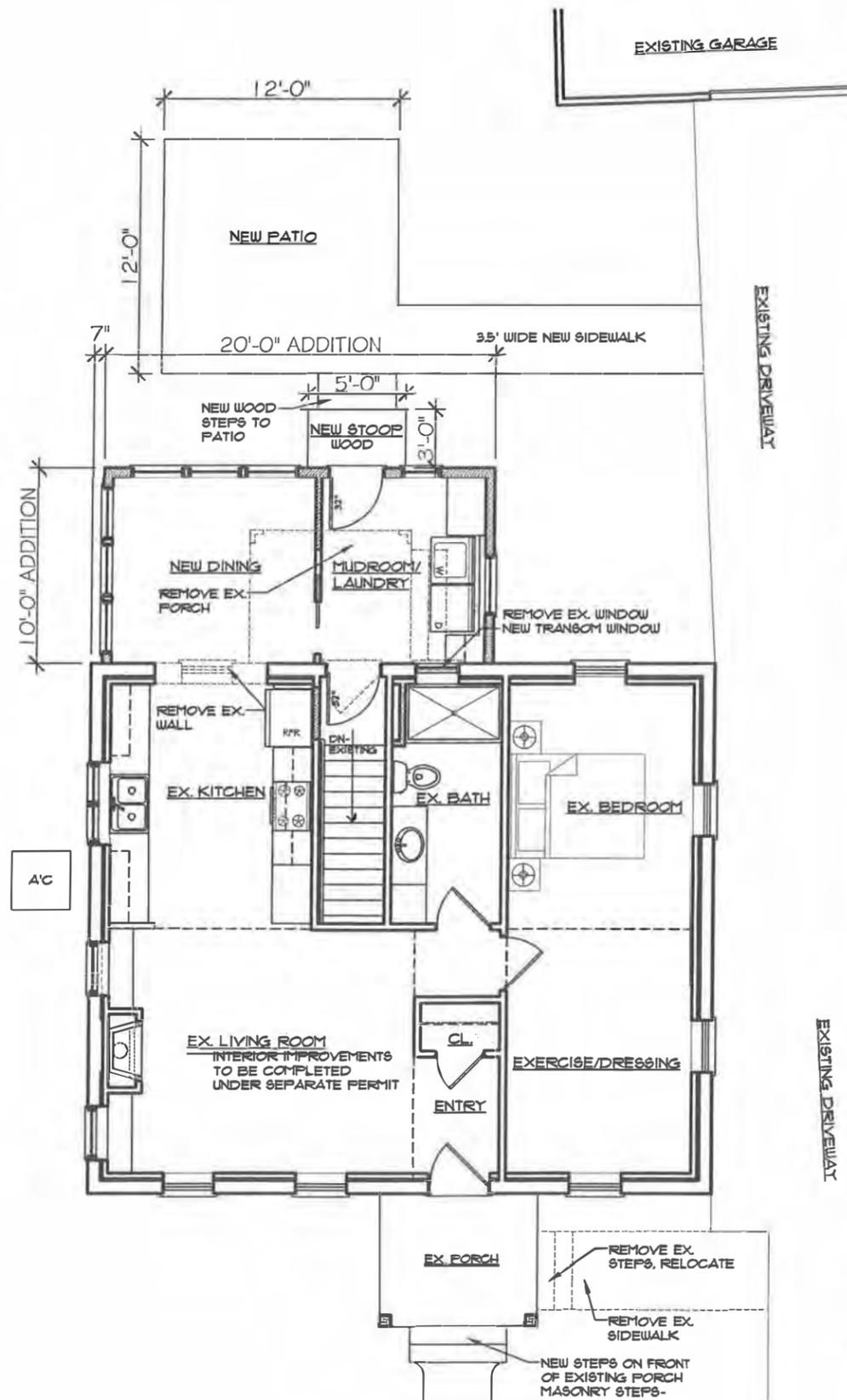
WEST ELEVATION

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"



FLOOR PLAN

1/8" = 1'-0"

ADDITION FOR:

ANNA NELSON
15 ORCHARD ROAD
SKANEATELES, NY

architect

EGGLESTON & KRENZER, ARCHITECTS PC
1391 EAST GENESEE STREET
SKANEATELES, NY 13152
(315) 685-8144

PROJ: 20020

DATE:

9 MAR 2020

VILLAGE OF SKANEATELES

26 Fennell St

Skaneateles, NY 13152

315-685-2118

Fax: 315-685-0730

Email: codes@villageofskaneateles.com

11/16jc

Application for a Building/Zoning Permit (page 1 of 2)

Date of Application MAR. 12. 2020 Permit Date and Number _____

Name of Applicant JORDAN ROAD TOWNHOMES LLC / CHRISTOPHER GRAHAM

Address of Applicant 4302 JORDAN ROAD, SKANEATELES, NY 13152

Applicant's Email TRILLIUMHOMESNY@VERIZON.NET Contact # 315. 345. 2227

Address of worksite 140 EAST GENESEE ST.

Name of Property Owner (if different from applicant) SAME

Property Owner Address _____

Property Owner Email _____ Contact # _____

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MAR 13 2020

VILLAGE OF SKANEATELES

Type of Work Proposed:

New Structure Addition Alteration Swimming Pool Repair

Fence/Wall Paved Surface Other

Square Footage of new work 864 SF Accurate Project Cost \$100,000

Describe the work proposed: 24' x 30', 3 CAR GARAGE w/ STORAGE ABOVE. Carriage Barn undefined

Zoning District (circle one): A-1 (A-2) A-3 A-4 B C D PL

Tax Map Number 000 - 01 - 41.0 Square Footage of Lot 27,701

Existing use of lot RESIDENTIAL Proposed use of lot RESIDENTIAL

STRUCTURE INFORMATION:

Single Family Two Family _____ Multi-Family _____ Garage _____ Commercial _____

Accessory Building Boat House Other

Existing Use SINGLE FAMILY Proposed Use SINGLE FAMILY

VILLAGE OF SKANEATELES

26 Fennell St

Skaneateles, NY 13152

315-685-2118

Email: codes@villageofskaneateles.com

Fax: 315-685-0730

Application for a Building/Zoning Permit (page 2 of 2)

LOT INFORMATION:

Indicate in box [] North South East West

Setbacks - Existing Structure		Setbacks - Proposed work	
(Distances from structure to property or lot lines)			
[S] Front Yard _____ ft.		Front Yard <u>124</u> ft.	
[W] Left Side Yard _____ ft.		Left Side Yard <u>37</u> ft.	
[E] Right Side Yard _____ ft.		Right Side Yard <u>5</u> ft.	
[N] Rear Yard _____ ft.		Rear Yard <u>244</u> ft.	

New connection for: (Yes/No) Sewer NO Electric Service NO Storm Sewer NO

Does the proposed work/structure comply with the Energy Conservation Construction Code? (Yes, No, N/A)

Architect's Name EGGESTON & KREUZER ARCHITECTS PC

Architect's Address 1391 E. GENESEE ST. SKANEATELES NY 13152

Contractor/Builder Name CHRISTOPHER GRAHAM

Contractor's Phone # 4302 JORDAN ROAD, SKANEATELES, NY 13152

Contractor's Address 315-345-2227

Contractor's Email TRILLIUM HOMES NY @ VERIZON . NET

The applicant declares that the information contained in this application, and the plans, specifications and other supporting materials submitted in support of this application is true and has made such representations to induce the Village of Skaneateles to issue a Building/Zoning Permit and the applicant will comply with all laws, codes and ordinances controlling this work.

Date 3.12.2020 Signature [Signature]

Print Applicant's Name CHRISTOPHER GRAHAM

Affidavit of Owner or Applicant

(To be completed if application is not made by the property owner)

STATE OF NEW YORK)
) SS:
COUNTY OF ONONDAGA)

On this _____ day of _____, 20____; _____
personally appeared before me.

NOTARY PUBLIC

VILLAGE OF SKANEATELES

MAR 13 2020

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VILLAGE OF SKANEATELES

26 Fennell St

Skaneateles, NY 13152

315-685-2118

Fax: 315-685-0730

Email: codes@villageofskaneateles.com

Building/Zoning Application Review Sheet

Date Received 3/13/19 Tax Map Number 009-01-41.0

Applicant's Name JORDAN ROAD TOWNHOMES LLC / CHRISTOPHER GRAHAM

Address of Worksite 149 EAST GENESEE STREET

Permit Fee Date Received Amount Received

Additional Info. Requested

Date Review Completed 3/24/20 Signature [Signature]

Application Status: Approved (X) Denied

Reasons for Denial - Does not comply with the following:

Section 225-A5, Density Control Schedule for:

- Front Yard Setback, Side Yard Setback, left, Side Yard Setback, Right, Rear Yard Setback, Percentage of Open Area, Both Side Yards Combine, Percentage of Structure width/lot width

Other Density Control Schedule

- Section 225-69D, Non-conforming Buildings, Structures and Uses, Extension or Expansion, Section 225-14(d), Swimming Pools, 25 ft. distance to lot lines, Section 225-14C (5) (a/b), Accessory Buildings, distance to lot lines or structures, Section 225-A1-3, Permitted Use Chart, Other Sections of the Zoning Law

And/or Needs:

- Certificate of Approval from the Historical Landmarks Preservation Commission, Section 225-25, Critical Impact Permit, per Section 225-52, form Board of Trustees, Special Use Permit from the Zoning Board of Appeals

VILLAGE OF SKANEATELES

MAR 13 2020

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Permit Number, Date Issue, Planning Board Review, Zoning Board of Appeals Approval, Critical Impact Permit Approval, Historical Commission Approval

ck # 1160
\$ 250.00
Pd. 3/12/2020

ZONING BOARD OF APPEALS
Village of Skaneateles
26 Fennell Street
Skaneateles, NY 13152

315-685-2118

Fax 315-685-0730

(1) NOTICE OF APPEAL

(2) APPLICATION FOR SPECIAL USE PERMIT

Date of Application MAR 12, 2020

To the Zoning Board of Appeals of the Village of Skaneateles, Onondaga County, New York

I/We CHRISTOPHER GRAHAM
Printed or Typed Name of Appellant(s) and/or Applicant(s)

Address 4302 JORDAN ROAD, SKANEATELES, NY 13152

(1) I hereby appeal the decision of the Village Code Enforcement Officer (Building Inspector)

which was denial of a Zoning Permit

which was denial of a Certificate of Occupancy

to vary the strict application of the provisions of:

Article _____ Section 225 Subsection A5

Article _____ Section 225 Subsection _____

Article _____ Section 225 Subsection _____

RECEIVED

MAR 13 2020

VILLAGE OF SKANEATELES

(2) I hereby apply for: (check all applicable)

A SPECIAL USE PERMIT required by the provisions of Article III, Section 225-10
B (1) & Section 225-11 B (2)

A FLOODWAY PERMIT required by the provisions of Article III, Section 225-10
B (3) & Article VI, Section 225-18 B

This appeal or application relates to:

140 Street Number EAST GENESEE ST Street Name

Tax Map Number 009-01-410

ZONING BOARD OF APPEALS

Village of Skaneateles
26 Fennell Street
Skaneateles, NY 13152

315-685-2118

Fax 315-685-0730

The applicant shall use this sheet to state the Zoning Board of Appeals details of the variances requested.

Zoning District of the lot A-2

Column

- #1 From the Density Control Schedule (Section 225-A5) fill in the minimum requirements for said lot in your Zoning District
- #2 Indicate the existing set-back dimensions, percentages, that are not-conforming with the figures in column #1, and that will not be changed by the proposed construction
- #3 Indicate the dimensions, area (in square feet) and percentages that will result from your proposed construction
- #4 Indicate the variance requested (subtract #3 from #1)

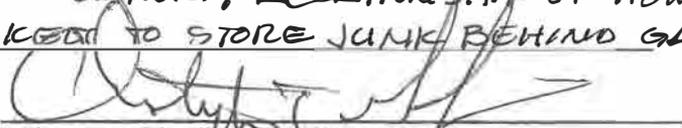
Columns →	#1	#2	#3	#4
Open Area (sq. ft.) as a % of lot area	85%		88.2	
Front yard dimension (ft.)	30'		124'	
Left side yard dimension (ft.)	15'		37	
Right side yard dimension (ft.)	15'	(9' APPROVD)	5'	10'
Both side yards combined (ft.)	35'		42'	
Rear yard dimension (ft.)	35'		244'	
Max. width of structure as a % of lot width (Structure width divided by lot width)	65%		36.1%	
Min. livable floor area, each dwelling	1200SF		NA	

List below any OTHER variances, Special Permits requested
(Section of the Zoning Law) (Description)

Please state below all reasons to support your appeal or application. Attach other sheets as needed to support your appeal/application

3 CAR GARAGE WAS APPROVED AT 9' EAST SIDE YARD. REQUEST AMEND APPROVAL TO 5 FT.
 AT 5F - ALLOWS ADDITIONAL 4' FOR DRIVEWAY ACCESS.
 • ALLOWS MORE VISUAL SIGHT TO BACKYARD FROM HOUSE
 • PLACES BACK ENTRANCE TO HOUSE IN FRONT OF GARAGE
 • MORE TRADITIONAL LOCATION / RELATIONSHIP OF HOUSE TO GARAGE
 AT 9F - FUTURE OWNER LIKED TO STORE JUNK BEHIND GARAGE

Dated MAR 12 2020


Signature of Applicant/Appellant

RECEIVED
 MAR 13 2020
 VILLAGE OF SKANEATELES

Short Environmental Assessment Form Part 1 - Project Information

RECEIVED

MAR 12 2020

Instructions for Completing

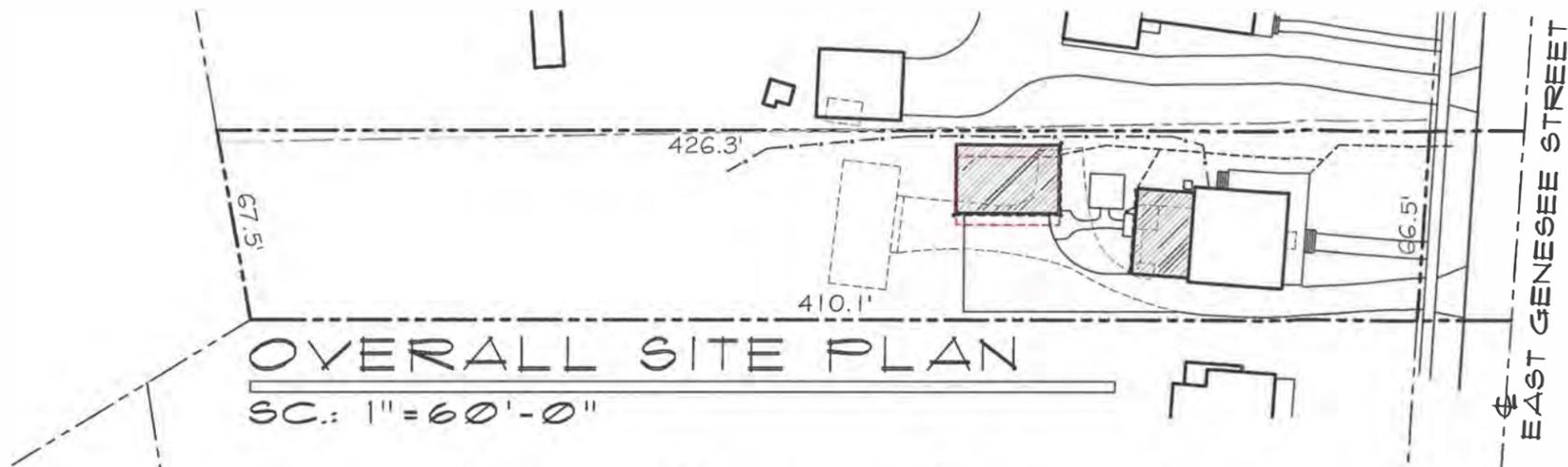
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

VILLAGE OF SKANEATELES

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: <i>149 E. Genesee Street - 3 CAR GARAGE</i>			
Project Location (describe, and attach a location map): <i>149 E. Genesee St. - North side of street, West of East Lake Street</i>			
Brief Description of Proposed Action: <i>3 CAR GARAGE w/ STORAGE ABOVE - AMEND APPROVED LOCATION</i>			
Name of Applicant or Sponsor: <i>Jordan Road Town Homes LLC Christopher Graham</i>		Telephone: <i>315-345-2227</i>	
Address: <i>4302 Jordan Road</i>		E-Mail: <i>Trilliumhomesny@verizon.net</i>	
City/PO: <i>Skaneateles</i>	State: <i>NY</i>	Zip Code:	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: <i>Building permit - Village of Skaneateles</i>		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? <i>0.6</i> acres			
b. Total acreage to be physically disturbed? <i>2.01</i> acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <i>0.6</i> acres			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input type="checkbox"/>	<input type="checkbox"/>	

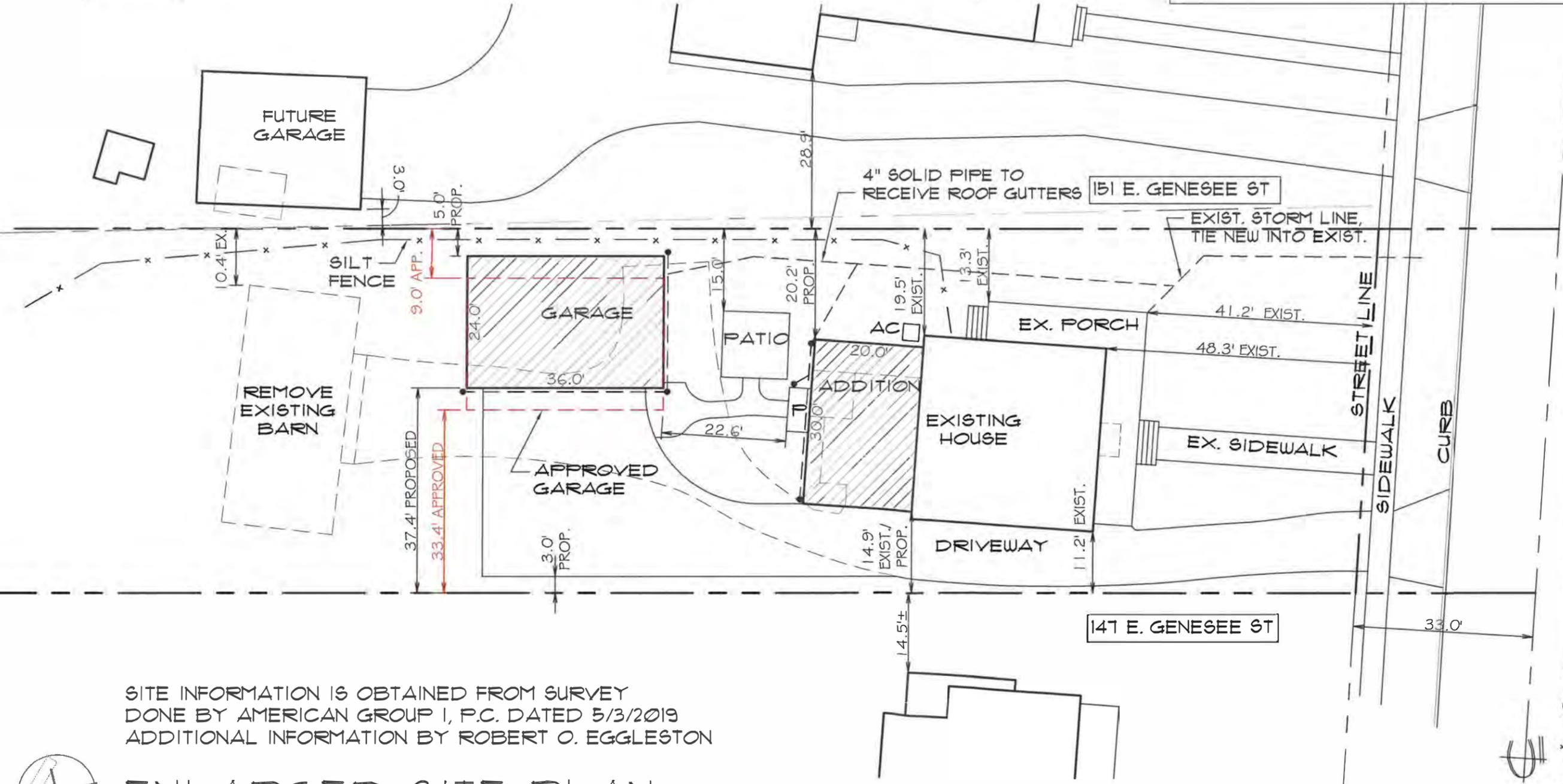


OVERALL SITE PLAN
 SC.: 1" = 60'-0"

LOT AREA	27,761 SF	
LOT COVERAGE	EXIST.	PROPOSED
HOUSE	1,495 SF	1,716 SF
PORCHES	455 SF	537 SF
PATIO	102 SF	144 SF
BARN/GARAGE	881 SF	864 SF
AC	9 SF	9 SF
TOTAL	2,942 SF	3,270 SF
% COVERAGE	10.6 %	11.8 %
% OPEN AREA	89.4 %	88.2 %



SITE PLAN
 CHRIS GRAHAM
 149 EAST GENESEE STREET
 SKANEATELES, NY



SITE INFORMATION IS OBTAINED FROM SURVEY
 DONE BY AMERICAN GROUP I, P.C. DATED 5/3/2019
 ADDITIONAL INFORMATION BY ROBERT O. EGGLESTON

ENLARGED SITE PLAN
 SC.: 1" = 20'-0"



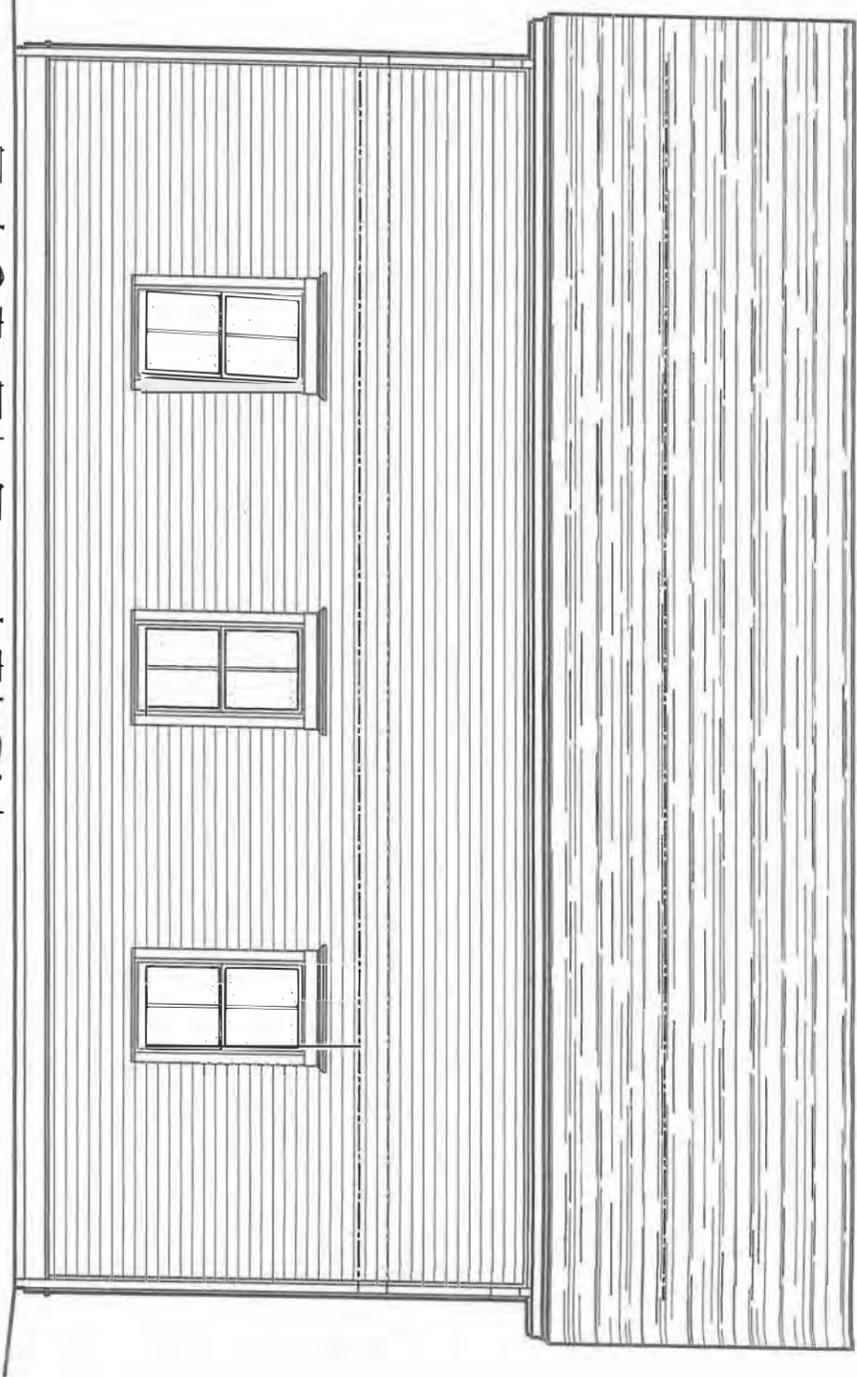
EAST GENESEE STREET

a r c h i t e c t

ROBERT O. EGGLESTON
 1391 EAST GENESEE STREET
 SKANEATELES, NY 13152
 (315) 685-8144

PROJ: 19051

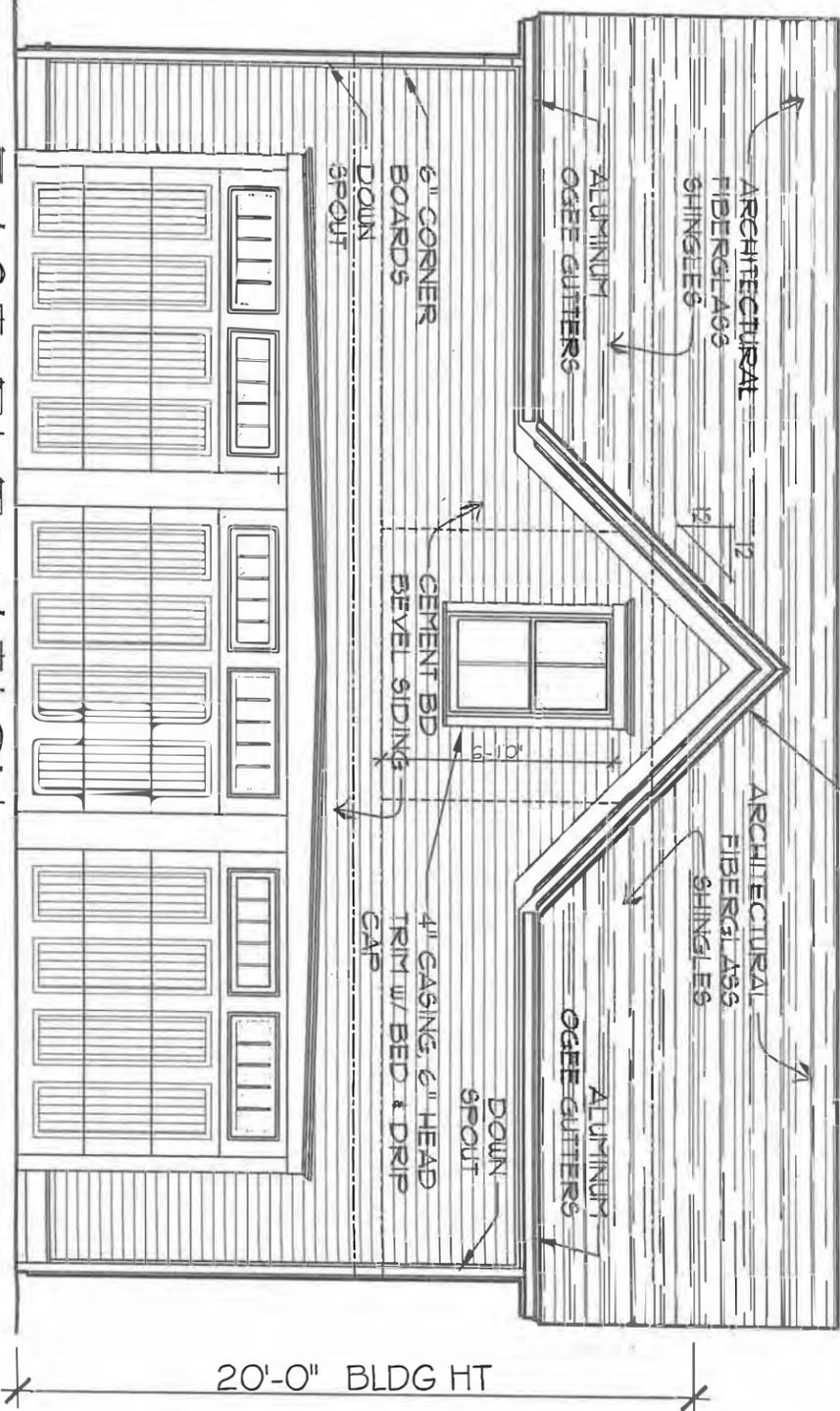
DATE:
 15 AUG 2019
 16 OCT 2019
 5 DEC 2019
 12 MAR 2020



EAST ELEVATION

SC.: 3/16" = 1'-0"

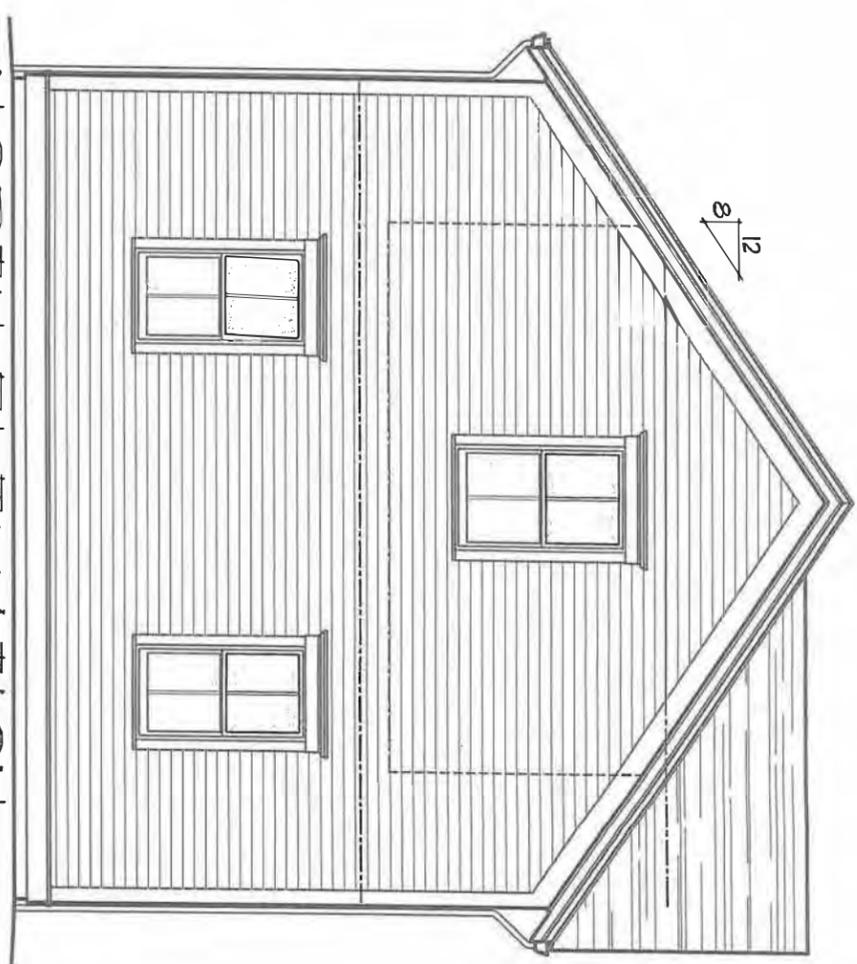
CROWN MOULDING
ON GABLE ENDS



20'-0" BLDG HT

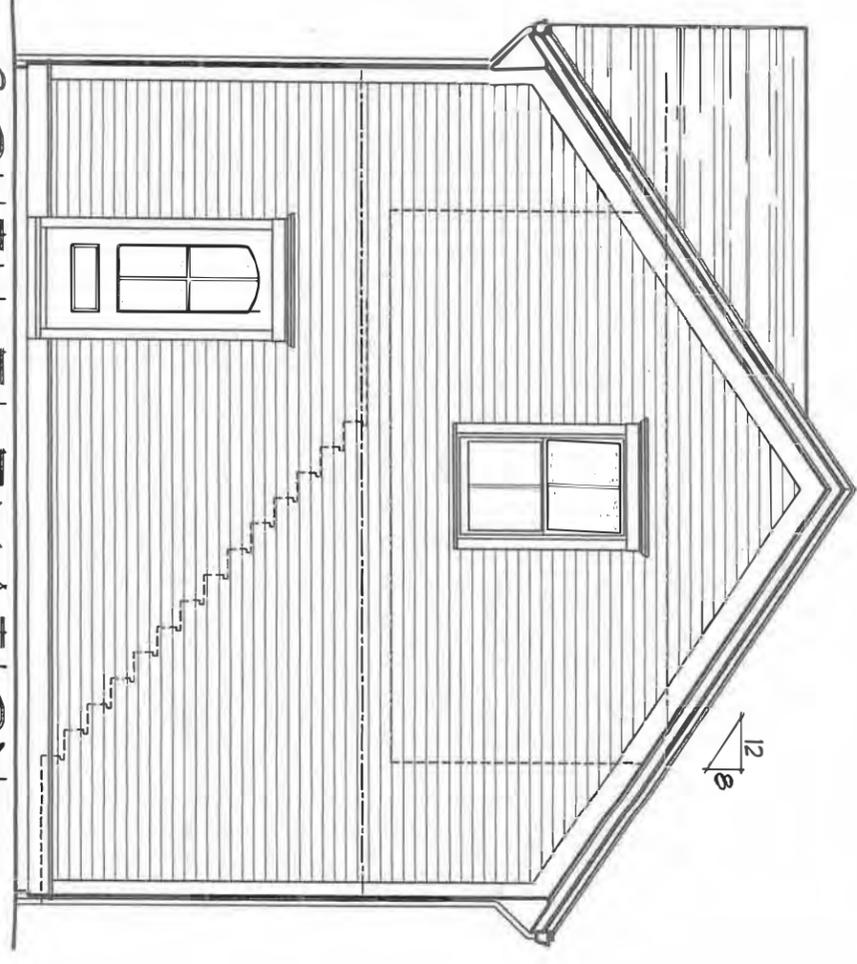
EAST ELEVATION

SC.: 3/16" = 1'-0"



NORTH ELEVATION

SC.: 3/16" = 1'-0"



SOUTH ELEVATION

SC.: 3/16" = 1'-0"

CARRIAGE BARN

CHRIS GRAHAM
149 EAST GENESEE STREET
SKANEATELES, NY

architect

ROBERT O. EGGLESTON
1391 EAST GENESEE STREET
SKANEATELES, NY 13152
(315) 685-8144

PROJ: 19051

DATE:

15 AUG 2019
10 SEPT 2019
16 OCT 2019

2 OF 3



151 EAST GENESEE STREET



149 EAST GENESEE STREET



147 EAST GENESEE STREET

NORTH ELEVATION

SC.: N.T.S.

SITE ELEVATION:

CHRIS GRAHAM
149 EAST GENESEE STREET
SKANEATELES, NY

a r c h i t e c t

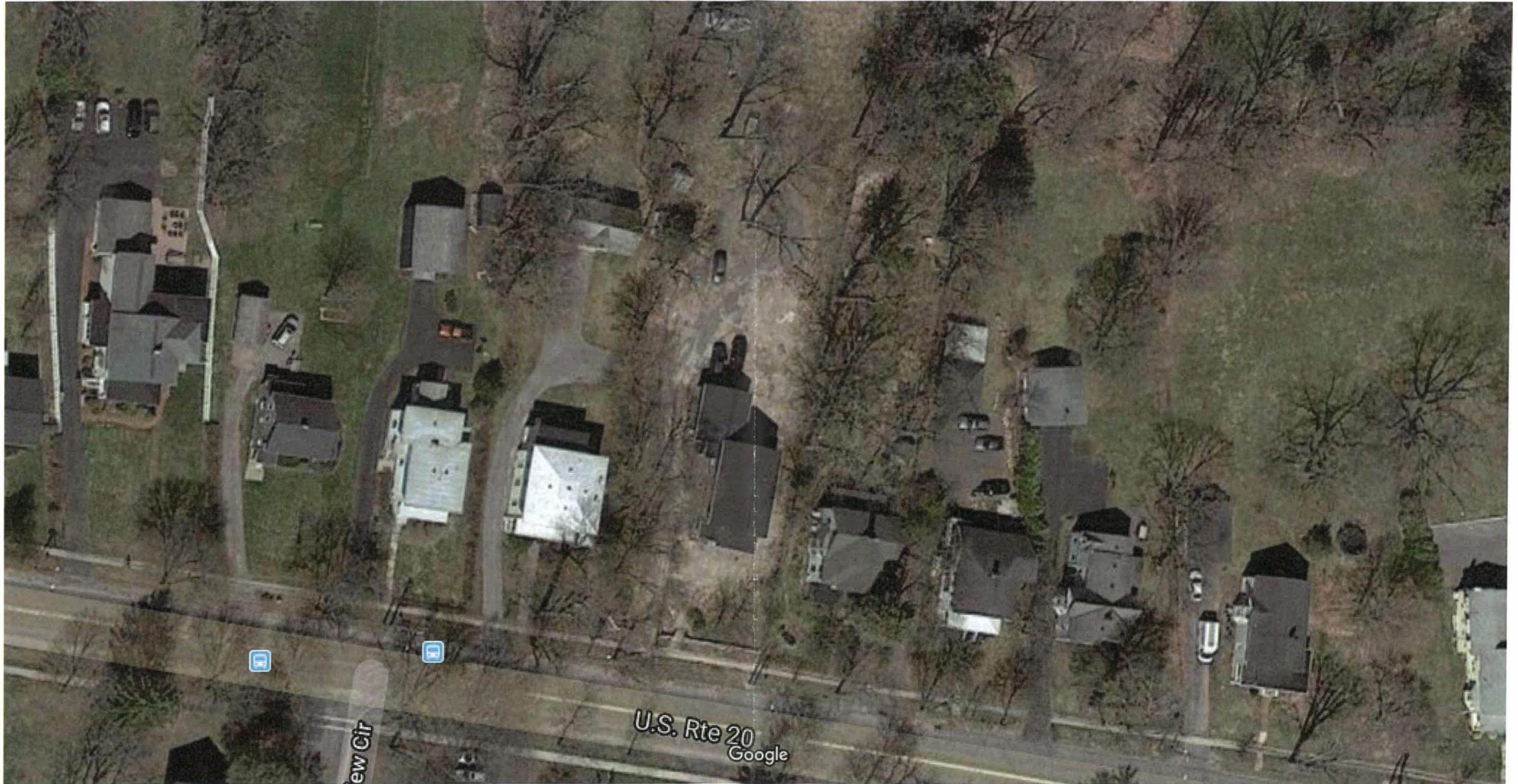
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SKANEATELES, NY 13152
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4 OF 4



↑ 149 East Jensen Street